



**JEFFERSON COUNTY PURCHASING DEPARTMENT**  
*Deborah L. Clark, Purchasing Agent*

1149 Pearl Street  
1<sup>st</sup> Floor, Beaumont, TX 77701

OFFICE MAIN: (409) 835-8593  
FAX: (409) 835-8456

**Addendum to IFB**

**IFB NUMBER:** IFB 24-062/MR  
**IFB TITLE:** Jefferson County Diversion Center Renovation  
**IFB DUE BY:** 11:00 am CT, Wednesday, November 13, 2024  
**ADDENDUM NO.:** 1  
**ISSUED (DATE):** November 1, 2024

**To Bidder:** This Addendum is an integral part of the IFB package under consideration by you as a Bidder in connection with the subject matter herein identified. Jefferson County deems all sealed bids to have been proffered in recognition and consideration of the entire IFB Specifications Package – *including all addenda*. For purposes of clarification, **receipt of this present Addendum by a Bidder should be evidenced by returning it (signed) as part of the Bidder's sealed bid submission.** If the bid submission has already been received by the Jefferson County Purchasing Department, Bidder should return this addendum in a separate sealed envelope, clearly marked with the IFB Title, IFB Number, and IFB Opening Date and Time, as stated above.

**Reason for Issuance of this Addendum:**

- 1. Vendor Questions**
- 2. Updated Scope of Work & Updated Project Drawings**
- 3. A secondary walk-through has been scheduled for Wednesday, November 6, 2024, at 2:00 pm at the Diversion Center Site Location located at 3890 FM 3514, Beaumont, Texas 77705**

**The information included herein is hereby incorporated into the documents of this present bid matter and supersedes any conflicting documents or portion thereof previously issued.**

Receipt of this Addendum is hereby acknowledged by the undersigned Respondent:

**ATTEST:**

\_\_\_\_\_  
Witness

\_\_\_\_\_  
Witness

Approved by \_\_\_\_\_ Date: \_\_\_\_\_

\_\_\_\_\_  
Authorized Signature (Respondent)

\_\_\_\_\_  
Title of Person Signing Above

\_\_\_\_\_  
Typed Name of Business or Individual

\_\_\_\_\_  
Address



## **JEFFERSON COUNTY PURCHASING DEPARTMENT**

*Deborah L. Clark, Purchasing Agent*

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1. See Brave Addendum 1 Attachment beginning on page 3 of this addendum for vendor questions, updated scope of work and updated project drawings.



## ADDENDUM # 01

IFB 24-062/MR Jefferson County Diversion Center Renovation

B/A No. 23141

Issue Date: 11/01/2024

### Notice:

- Receipt of this Addendum shall be acknowledged on the Bid Form.
- This Addendum forms part of the Contract Documents for the above referenced project and shall be incorporated integrally therewith.
- Bidder shall make necessary adjustments and submit his/her proposal with full knowledge of all modifications, clarifications, and supplemental data included therein. Where provisions of the following supplemental data differ from those of the original Contract Documents, this addendum shall govern and take precedence.
- Identified items revised on the Drawings are designated by a cloud line surrounding the revised section of the drawing and a delta ( $\Delta$ ) symbol with the corresponding revision number.
- Items revised in the Project Manual are shown in bold AND italicized.

### Modifications:

#### A. Owner Requested changes to Bidding Information (Demolition Work allocation)

1. Mold Remediation demolition scope has been modified, so Demolition required by GC has been reduced. Listed below are items allocated to remediation vs Renovation GC. Sheet notes on D.101, D.110, D.111, D.121 and D.125 revised.

#### **Response:**

*Mold Remediation and Interior Demolition Letter for more information*

#### *Renovation GC Demolition scope of work (in Contract)*

- a) *All Interior Door Frames to be demolished for new door frames and doors.*
- a) *All exterior doors and frames to be demolished as shown in the drawings.*
- b) *All CMU wall and interior dry wall to be demolished as shown in drawings.*
- c) *Existing ductwork removal by remediation contractor may leave holes in the wall of the mechanical room/mezzanine floor or other spaces that needs to be patched and repaired.*
- d) *Exterior soffit at entry canopy and exterior walls to be demolished as show in the drawings.*
- e) *Existing roof patching at rusted locations to be removed and patched.*

**Jefferson County Diversion Center Renovation  
Addendum 01**

**B. Changes to Bidding Information (questions & clarifications): RFIs**

1. Daniels Building and Construction Inc Question 1 - Waste Management has been specified. Will this be a requirement?

**Response:** *Waster Management can be removed from the scope of work however GC is responsible for disposing construction waste as required for Development Permit and approved by Environmental Control. A copy of Development Permit Application is added in the specifications.*

2. Daniels Building and Construction Inc Question 2 - Is there certain measured lengths / profile for the tubular lights?

**Response:** *This item requires field verification of lengths and profiles. Idea is to replace the existing deteriorated daylighting devices with new. As per owner provided existing drawings the length ranges between 6' to 10' for a tubular light connection. There are total of 6 such devices in each pod.*

3. Daniels Building and Construction Inc Question 3 - There is a specification for automated external defibrillators. Is this owner furnished for the maintenance and yearly calibration needs? If not, how many are required?

**Response:** *No AED required. Spec Section 10 43 00 is removed in the revised TOC.*

4. Daniels Building and Construction Inc Question 4 - A.201 roof detail shows ISO board. What size ISO board is required? See following question.

**Response:** *4" insulation panel is show in the details. R-Seal 4" panel provides R-30 value. Any equal or better product can be used. Revised Spec Section 07 21 00 is included in this addendum.*

5. Daniels Building and Construction Inc Question 5- A.100 notes requirements for roof and wall insulation. ROOFS: ABOVE DECK: R-25ci, METAL BUILDINGS: R-19 + R-11 LS, WALLS, ABOVE GRADE: METAL BUILDING: R13 + R-6.5ci, METAL FRAMED: R-13 + R-5ci. Wall insulation will be no problem since these walls will be exposed and re-built, however with the retrofit of the roof and no demolition of ceilings, access to underside of deck will not be accessible. Will this be achieved above roof with ISO board above existing roof panels as shown? If so, please clarify how many layers and what thicknesses? Also, please verify that the ISO will lay on top of the roof hugger brackets with a baring plate?

**Response:** *4" insulation panel is show in the details. R-Seal 4" panel provides R-30 value. Any equal or better product can be used. Revised Spec Section 07 21 00 is included in this addendum.*

6. Daniels Building and Construction Inc Question 6 – A.101 shows slat curtains in each day room with specific measurements for start and stop. It is apparent on this drawing that it is not all encompassing. A.120 & A.121 shows these curtains completely encircling the day room. Which is correct?

**Response:** *A.101 shows the full height wood slat panels, while sheet A.120/A.121 shows partial height ceiling mounted overall enclosure. Refer to interior elevations 6,7/A.701 for more information.*

7. Daniels Building and Construction Inc Question 7 - Finish schedule describes the W.WD.1 as Wood slat Wall by Slat Solutions. There is no specification to follow for correct product purchase and installation. Please provide clarification.

**Response:** *Revised spec section 06 20 00 provides wood slat wall information.*

8. Daniels Building and Construction Inc Question 8 - A.150 finish schedule lists FT.1 & FT.2 with description and thickness (no specifications in spec book). A.151 & A.152 has a note for FT.1 & FT.3 (not 2) in PODS 200 & 400 however there is no designation of where they go, how many or what if any pattern.

**Response:** *FT.1 and FT.2 are the felt products with different colors. Refer to Finish schedule on sheet A.150 for panel thickness and color. See revised sheet A.701 and A.121 for typical size and location.*



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9. Daniels Building and Construction Inc Question 9 - C1.00 shows that a section of the existing perimeter fence is to be removed for new driveway. It is not clear how much, however A.010 shows new fencing on either side of the two buildings drawn. It is assumed that the perimeter fence is to be removed back to both locations. Please clarify this is the case and that both buildings will not be fenced off from the highway.

**Response:** See revised sheet C1.00

10. Sergio Gomez, Construction Managers of Southeast Texas, LLC Question 1 – Please advise if any other toilet accessories will be required on this project, other than what is shown on plans. Seems like the plans don't show them all.

**Response:** See revised sheet A.101 and interior elevation sheets for all Toilet accessory locations in POD 200. The same applies to POD 400 Unless noted otherwise.

11. Sergio Gomez, Construction Managers of Southeast Texas, LLC Question 2 – See Spec section 102601 (Wall & Corner Guards) – As no corner guards were found on plans, please advise if any will be required.

**Response:** See revised sheet A.101 for corner guard locations in POD 200. The same applies to POD 400 unless noted otherwise.

12. Sergio Gomez, Construction Managers of Southeast Texas, LLC Question 3 – See spec section 104300 (Emergency Aid Specialties). As no AED's were located on plans, please advise if any will be required.

**Response:** No AED required. Spec Section 10 43 00 is removed in the revised TOC.

13. Sergio Gomez, Construction Managers of Southeast Texas, LLC Question 4 – Do you know what type of fire panel is in the location? Also, can the. Branding of the access, cameras, & fire system be provided?

**Response (DATACOM):** We only have a specific manufacturer/brand for the access control software and door controllers everything else is performance spec. We do provide a list acceptable manufacturer for the rest of the access control, video surveillance and intercom devices. The list of acceptable manufacturers is in the div. 28 specs located here:

Access control: 28 10 00 – Part 2 - 2.1 (Acceptable Manufacturers)

Video Surveillance: 28 23 00 – Part 2 – 2.5 (Acceptable Manufacturers). Please note that all cameras need to be NDA (National Defense Act) Compliant.

Intercom: 28 26 00: 28 26 00 - Part 2 - 2.1 (Acceptable Manufacturers)

14. Sergio Gomez, Construction Managers of Southeast Texas, LLC Question 5 – Can you clarify the height of the rubber base specified?

**Response:** all rubber bases are 4". Information is revised on sheet A.150.

15. Sergio Gomez, Construction Managers of Southeast Texas, LLC Question 6 – Ceramic Wall Tile is listed on the Finish Schedule, however, its not shown on the finish plan. Please confirm if there is any wall tile on this project.

**Response:** All restrooms to have ceramic wall tiles up to height shown in interior elevations. Refer to finish schedule for product information.

16. Sergio Gomez, Construction Managers of Southeast Texas, LLC Question 7 – Floor Transitions are not specified or shown on the plans, please confirm what kind of floor transitions will be desired for this project.

**Response:** See updated detail 6/A.820 for floor transition schedule.

17. Sergio Gomez, Construction Managers of Southeast Texas, LLC Question 8 – Is the intention to demo all the existing conduit or will there be items to stay as far as demo is concerned?

**Response:** Mold remediation will clean all affected conduits prior to beginning of renovation demolition work. No intention to keep any existing conduit unless for any special case.

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18. TxDOT permit approval received with below comments.

**Response:** Culvert pipe and/or forms for driveways must be inspected by a TxDOT representative prior to backfilling culverts or pouring concrete. Culverts must have 6:1 sloped safety end sections as per the attached standard sheets and must be enclosed in concrete or an approved stabilized material to prevent erosion. The driveway must be paved or surfaced with an approved stabilized material to prevent tracking mud onto the highway. Before completing the installation of the driveway please give at least a 24-hour notice to our Permit Inspector, Jose Pastrana, so that a site visit can be performed to make sure it is being installed properly. If a lane closure is required, contact the Inspector 72 hours in advance.

19. Building permit requirements

**Response:** GC is responsible for acquiring development permits from Jefferson County and receiving approval from Environmental Control. Any building with living quarters is required by HB2833 to have required inspections as applicable for Renovation project.

20. Additional Updates

**Response:**

1. All Exterior Windows to be aluminum framed windows for better thermal performance. Refer to Sheet A.820
2. Retrofit roof edge gutters and internal down spout information provided for accurate pricing. Refer to sheet A.201 and A.611.

### C. Changes to the Project Manual/Drawings:

#### Specifications

Table of Content is updated. Spec Section Waste Management and AED are removed. Spec section Finish Carpentry, Thermal Insulation, Aluminum Windows and Glazing have been revised.

#### Civil Sheet

Extended fence demo limits and referenced sheet A.010.

#### Architectural Sheets

BID questions related information provided.

Sheet A.611 Exterior Glazing & Door Details

1. Flexible Flashing to be provided at all windows. Seal top edge of flexible flashing
2. Casing Bead renamed to form
3. Hat channel provided to support metal panels
4. Form-Closure shown at all Metal panel ends. typical detail.
5. Wood blocking extended to the width of the wall at all windows. typical detail.

#### Plumbing Sheets

Roof drain information added.

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**D. Attachments:**

**Interior Mold Remediation Demolition scope of work**

| <b>Specification</b>            | <b>Format</b> | <b>Date</b> |
|---------------------------------|---------------|-------------|
| Cover page                      | 8½x11         | 11/01/2024  |
| Table of Content                | 8½x11         | 11/01/2024  |
| 06 2000      Finish Carpentry   | 8½x11         | 11/01/2024  |
| 07 2100      Thermal Insulation | 8½x11         | 11/01/2024  |
| 08 5113      Aluminum Windows   | 8½x11         | 11/01/2024  |
| 08 8000      Glazing            | 8½x11         | 11/01/2024  |

| <b>Drawing Sheet</b>  | <b>Format</b> | <b>Date</b> |
|---|---------------|-------------|
| G.000      Cover Page   | 30x42         | 11/01/2024  |
| G.001      Index and General Information                              | 30x42         | 11/01/2024  |
| D.101      Demolition – Overall Floor Plan                            | 30x42         | 11/01/2024  |
| D.110      Demolition – Enlarged Floor Plan POD 200                   | 30x42         | 11/01/2024  |
| D.111      Demolition – Interior Photos                               | 30x42         | 11/01/2024  |
| D.121      Demolition – Overall RCP                                   | 30x42         | 11/01/2024  |
| D.125      Demolition – Enlarged RCP POD 200                          | 30x42         | 11/01/2024  |
| C1.00      Demolition Plan  | 30x42         | 11/01/2024  |
| A.100      Overall Floor Plan   | 30x42         | 11/01/2024  |
| A.121      Enlarged Reflected Ceiling Plan – POD 200                  | 30x42         | 11/01/2024  |
| A.150      Finish Schedule  | 30x42         | 11/01/2024  |
| A.151      Overall Finish Plan  | 30x42         | 11/01/2024  |
| A.152      Enlarged Finish Plan – POD 200                             | 30x42         | 11/01/2024  |
| A.201      Roof Details   | 30x42         | 11/01/2024  |
| A.502      Exterior Wall Sections                                     | 30x42         | 11/01/2024  |
| A.601      Plan Details   | 30x42         | 11/01/2024  |
| A.610      Section Details  | 30x42         | 11/01/2024  |
| A.611      Exterior Glazing & Door Details                            | 30x42         | 11/01/2024  |
| A.701      Interior Elevations  | 30x42         | 11/01/2024  |
| A.702      Interior Elevations  | 30x42         | 11/01/2024  |
| A.820      Typical Door Types, Schedules & Hardware                   | 30x42         | 11/01/2024  |
| A.840      Glazing Schedule, Frame Types and Interior Glazing Details | 30x42         | 11/01/2024  |
| P1.1      Plumbing Plan – Waste                                       | 30x42         | 11/01/2024  |
| P1.3      Plumbing Roof Plan  | 30x42         | 11/01/2024  |

**End of Addendum 01**



October 31, 2024

Jefferson County  
1149 Pearl Street  
Beaumont, Texas 77701  
Email: [mistey.reeves@jeffcotx.us](mailto:mistey.reeves@jeffcotx.us)  
Tel: 409-835-8693  
Attn: Ms. Mistey Reeves

**RE: Mold Remediation and Interior Demolition**

Jefferson County Diversion Center  
Pods 100, 200, 300, & 400  
3890 FM 3514  
Beaumont, Texas 77705

**Introduction**

Please find below the mold remediation and interior demolition scope of work recently removed from the Jefferson County Diversion Center Renovation scope of work. This work is scheduled for areas that include Pods 200 & 400, Control Room, Control Room Restroom, two Plumbing/Mechanical Chases, two Mechanical Rooms, two Mezzanine Mechanical Rooms.

In addition, the county has opted to have mold remediation performed to make safe Pods 100 & 300 to facilitate the fire sprinkler system installation.

**Scope of Work – Pods 200/400, et.al.**

This work area includes Pods 200 & 400, Control Room, Control Room Restroom, two Plumbing/Mechanical Chases, two Mechanical Rooms, two Mezzanine Mechanical Rooms.

**Demolition**

1. Remove and dispose of HVAC air handlers, ductwork, makeup air fan, controls, grills, registers, mixing boxes, exhaust ducts and other interior mechanical equipment.
2. Remove and dispose of smoke purge makeup air fan, associated ductwork, and support system.
3. Remove and dispose of gypsum board ceiling/plywood ceiling and support system.
4. Remove and dispose of lay-in ceiling tiles/grid and walls in and around Control Room and associated restroom.
5. Remove and dispose of raised floor and associated supports in Control Room, associated restroom, and connected platform in Pods 200/400 & Pods 100/300.



6. Remove and dispose of steps to raised floor and associated supports in Pods 200/400 & Pods 100/300.
7. Remove and dispose of carpet/glue and other floor finishes.
8. Remove and dispose of interior doors including hinges. Door frames are to remain in place.
9. Remove and dispose of washing machines, dryers, and associated hardware.
10. Remove and dispose of light fixtures (including whips back to junction boxes), wall ornaments, cabinetry, desks, and millwork including Control Room and Pods 200 & 400.

### **Remediation**

11. Clean, biocide, and sanitize ceiling system hanger wires extending to roof deck for possible use by others.
12. Clean, biocide, and sanitize all walls and floors in Pods 200 & 400 and in mechanical room, mechanical room mezzanine, plumbing mechanical chase. Leave in place, walls to be removed will be done by others.
13. Clean, biocide, and sanitize plumbing equipment/lines, mop sink, gas lines, tanks, hot water heaters throughout including mechanical room, mezzanine, and plumbing/mechanical chase. Leave in place, removed by others.
14. Clean, biocide, and sanitize all exterior doors in Pods 200 & 400 and interior control room door leading to Pods 100 & 300. Leave in place; to be removed by others.
15. Clean, biocide, and sanitize louvers at mezzanine mechanical rooms. Leave in place.
16. Clean, biocide, and sanitize cell door control panels, electronic boxes, solid conduit electrical wiring, electrical data equipment. Leave in place, to be removed by others.
17. Clean, biocide, and sanitize door frames, cell beds/tables, eating tables, windows, mirrors, and restroom lavatories, toilets, showers, and restroom accessories. Leave in place, to be removed by others.
18. Clean, biocide, and sanitize structure beams, columns, and insulation backing motors. Leave in place.
19. Clean, biocide, and sanitize fire alarm boxes, security alarm boxes, electrical boxes, motors, railings, vertical ladders, conduit, plumbing lines, and fire extinguishers. Leave in place, if possible.
20. Clean, biocide, and sanitize tubular daylighting device, and SAVE FOR REUSE. Leave in place, if possible.
21. Maintain differential pressure utilizing negative air machines equipped with HEPA filters continuously throughout the project duration.
22. Conduct HEPA filter air scrubbing during cleaning/removal and for a minimum of 48 hours after cleaning and prior to clearance.

**Scope of Work – Pods 100/300**

This work area includes Pods 100 & 300.

**Remediation Only**

1. Clean, biocide, and sanitize all exposed surfaces including ceilings, walls, floors, and doors.
2. Clean, biocide, and sanitize exposed surfaces of cell beds, windows, mirrors, HVAC equipment/ducts/registers, restroom lavatories/toilets/showers/accessories, plumbing lines, washing machine/accessories.
3. Clean, biocide, and sanitize all remaining items not listed above located within Pods 100/300.
4. Maintain differential pressure utilizing negative air machines equipped with HEPA filters continuously throughout the project duration.
5. Conduct HEPA filter air scrubbing during cleaning/removal and for a minimum of 48 hours after cleaning and prior to clearance.

Should you have any questions, please contact me at (409) 632-2601. Thank you for the opportunity to be of service to you on this project.

Sincerely,  
Honesty Environmental Services, Inc.



Daniel R. Ward  
Vice President



# **Jefferson County Diversion Center Renovation**

PO 091688 / B/A Project No. 23141

3890 FM3514  
Beaumont, TX 77705

## **Specifications**

Issued for:  
Addendum # 01

November 01, 2024

**BRAVE** / architecture

**DOCUMENT 00 0110**  
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NOT USED

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**SECTION 06 2000**  
**FINISH CARPENTRY**

**PART 1 GENERAL**

**1.1 SECTION INCLUDES**

- A. Finish carpentry items.
- B. Wood casings and moldings.
- C. Hardware and attachment accessories.
- D. Wood slat room dividers.

**1.2 SUBMITTALS**

- A. See Section 01 3000 – Administrative Requirements for submittal procedures.
- B. Product Data.
- C. Shop Drawings: Indicate materials, component profiles, fastening methods, jointing details, accessories, to a minimum scale of 1-1/2 inch to 1 ft.

**1.3 QUALITY ASSURANCE**

- A. Perform work in accordance with AWI Architectural Woodwork Quality Standards Illustrated, Custom grade at clubhouse and Economy grade elsewhere.
- B. Fabricator Qualifications: Company specializing in fabricating the products specified in this section with minimum three years of documented experience.

**1.4 DELIVERY, STORAGE, AND HANDLING**

- A. Protect work from moisture damage.

**1.5 PROJECT CONDITIONS**

- A. Sequence the installation to ensure utility connections are achieved in an orderly and expeditious manner.
- B. Coordinate the work with plumbing rough-in, electrical rough-in, and installation of associated and adjacent components.

**PART 2 PRODUCTS**

**2.1 LUMBER MATERIALS**

- A. Softwood Lumber: Southern Pine species, plain sawn, maximum moisture content of 6percent; with vertical grain, of quality suitable for transparent finish.
- B. Product made without formaldehyde and complying with ANSI A208.2 Grade MD.

**2.2 SHEET MATERIALS**

- A. Softwood Plywood Not Exposed to View: Any face species, veneer core; PS 1 Grade A-B; glue type as recommended for application.
- B. Softwood Plywood Exposed to View: Face species as indicated, plain sawn, medium density fiberboard core; PS 1 Grade A-B; glue type as recommended for application.
- C. Softwood Plywood: PS 1 Grade A-B; Veneer core; Southern Pine face species, plain sliced cut.

## **2.3 WOOD SLAT ROOM DIVIDERS**

- A. Manufacturer: Slat Solution; [www.slatsolution.com](http://www.slatsolution.com)
- B. Basis of Design: Design is based on “Maple Slat Wood Room Dividers” from Slat Solution.
- C. Plank size: 105” x 4” x 2”
- D. Plank thickness: 4”
- E. Finish: Maple
- F. Installation Type: Screw down.
- G. Substitutions: Under provisions of Section 01 6000 Product Requirements.

## **2.4 FASTENERS**

- A. Fasteners: Of size and type to suit application; brushed chrome finish in exposed locations.
- B. Adhesives, General: Do not use adhesives that contain urea formaldehyde.
  - 1. VOC Limits for Installation Of Adhesives and Glues: Use installation adhesives that comply with the following limits for VOC content when calculated according to 40 CFR 59, Subpart D (EPA Method 24):
    - a. Wood Glues: 30 g/L.
    - b. Contact Adhesive: 250 g/L.

## **2.5 ACCESSORIES**

- A. Lumber for Shimming, Blocking: Softwood lumber of Southern Pine species.
- B. Primer: Alkyd primer sealer.
- C. Wood Filler: Solvent base, tinted to match surface finish color.

## **2.6 FABRICATION**

- A. Shop assemble work for delivery to site, permitting passage through building openings.
- B. Fit exposed sheet material edges with 3/8-inch matching hardwood edging. Use one piece for full length only.
- C. When necessary to cut and fit on site, provide materials with ample allowance for cutting. Provide trim for scribing and site cutting.
- D. Back prime all edges.

## **2.7 FIELD FINISHING**

- A. Sand work smooth and set exposed nails and screws.
- B. Apply wood filler in exposed nail and screw indentations.
- C. Paint work in accordance with AWI Architectural Woodwork Quality Standards Illustrated, Section 1500 and in accordance with Section 09 9000 Paints and Coatings.

# **PART 3 EXECUTION**

## **3.1 EXAMINATION**

- A. Verify adequacy of backing and support framing.
- B. Verify mechanical, electrical, and building items affecting work of this section are placed and ready to receive this work.

**3.2 INSTALLATION**

- A. Set and secure materials and components in place, plumb and level.
- B. Carefully scribe work abutting other components, with maximum gaps of 1/32 inch.  
Do not use additional overlay trim to conceal larger gaps.

**3.3 TOLERANCES**

- A. Maximum Variation from True Position: 1/16 inch.
- B. Maximum Offset from True Alignment with Abutting Materials: 1/32 inch.

**END OF SECTION**



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**SECTION 07 2100**  
**THERMAL INSULATION**

**PART 1 GENERAL**

**1.1 SECTION INCLUDES**

- A. Batt insulation in interior wall and ceiling construction.
- B. Batt insulation for exterior wall construction.
- C. Continuous insulation for exterior wall construction.
- D. Insulation for roof system.
- E. Acoustic wall panels.

**1.2 REFERENCE STANDARDS**

- A. ASTM C578 – Standard Specification for Rigid, Cellular Polystyrene Thermal Insulation, 2019
- B. ASTM C665 - Standard Specification for Mineral-Fiber Blanket Thermal Insulation for Light Frame Construction and Manufactured Housing.
- C. ASTM E84 - Standard Test Method for Surface Burning Characteristics of Building Materials.
- D. ASTM E136 - Standard Test Method for Behavior of Materials in a Vertical Tube Furnace At 750 Degrees C.
- E. ASTM E2357 - Standard Test Method for Determining Air Leakage of Air Barrier Assemblies.

**1.3 SUBMITTALS**

- A. See Section 01 3000 - Administrative Requirements, for submittal procedures.
- B. Product Data: Provide data on product characteristics, performance criteria, and product limitations.
- C. Manufacturer's Certificate: Certify that products meet or exceed specified requirements.
- D. Manufacturer's Installation Instructions: Include information on special environmental conditions required for installation and installation techniques.

**1.4 FIELD CONDITIONS**

- A. Do not install insulation adhesives when temperature or weather conditions are detrimental to successful installation.

**1.4 PERFORMANCE REQUIREMENTS**

- A. Roof Insulation
  - 1. Above Deck: R-25Ci
  - 2. Metal Building: R-19 +R-11 LS.
- B. Wall Insulation
  - 1. Metal Building: R 13 +R6.5Ci
  - 2. Metal Frame: R-13 +R-5Ci.

## **PART 2 PRODUCTS**

### **2.1 APPLICATIONS**

- A. Insulation Over Metal Stud Framed Walls, Continuous: Extruded polystyrene (XPS) board, or mineral wool.
- B. Insulation in Metal Framed Walls: Batt insulation with no vapor retarder.

### **2.2 BATT INSULATION MATERIALS**

- A. Glass Fiber Batt Insulation: Flexible preformed batt or blanket, complying with ASTM C665; friction fit.
  - 1. Flame Spread Index: 75 or less, when tested in accordance with ASTM E84.
  - 2. Smoke Developed Index: 450 or less, when tested in accordance with ASTM E84.
  - 3. Combustibility: Non-combustible, when tested in accordance with ASTM E136, except for facing, if any.
  - 4. Thickness: As required to achieve the performance ratings in paragraph 1.4.
  - 5. Facing: Asphalt treated mesh reinforced Kraft paper, one side.
- C. Manufacturers:
  - a. CertainTeed Corporation: [www.certainteed.com](http://www.certainteed.com).
  - b. Johns Manville: [www.jm.com](http://www.jm.com).
  - c. Owens Corning Corporation: [www.ocbuildingspec.com/#sle](http://www.ocbuildingspec.com/#sle).
  - d. Substitutions: See Section 01 6000 - Product Requirements.

### **2.3 FOAM BOARD INSULATION MATERIALS**

- A. Extruded Polystyrene (XPS) Continuous Insulation (CI) Board: Complies with ASTM C578, and manufactured using carbon black technology.
  - 1. Type and Compressive Resistance: Type IV, 25 psi, minimum.
  - 2. Flame Spread Index (FSI): Class A 0 to 25 when tested in accordance with ASTM E84.
  - 3. Smoke Developed Index (SDI): 450 or less, when tested in accordance with ASTM E84.
  - 4. Type and Thermal Resistance, R-value (RSI-value): Type IV, 5.6 minimum, per 1 inch thickness at 75 degrees F mean temperature.
  - 5. Complies with fire resistance requirements indicated on Drawings as part of an exterior non-load-bearing exterior wall assembly when tested in accordance with NFPA 285.
  - 6. Board Size: 48 inch by 96 inch.
  - 7. Board Thickness: As required to achieve the performance ratings in paragraph 1.4.
  - 8. Board Edges: Square.
  - 9. Type and Water Absorption: Type IV, 0.3 percent by volume, maximum, by total immersion.
  - 10. Products:
    - a. DuPont de Nemours, Inc; Styrofoam Brand Ultra SL (Shiplap)

### **2.4 ACOUSTICAL WALL PANELS**

- A. R-Seal Rigid Envelope Insulation Panel.
- B. Thickness: 2 inches
- C. Exterior Profile: PS (Polypropylene/Scrim) bonded to rigid foam.
- D. Exterior Face: Uniformed Dimpling Pattern.

- E. Interior Profile: PS (Polypropylene/Scrim) bonded to rigid foam.
- F. Interior Face: Uniformed Dimpling Pattern.
- G. Joints: Butt
- H. Fastening: Through fastened with support channels at finished floor and eave areas.
- I. Core: Rigid closed cell modified Polyurethane/PUR/PIR core, structural and fire rated components between fiber-reinforced polypropylene.

## **2.4 ACCESSORIES**

- A. Tape: Bright aluminum self-adhering type, mesh reinforced, 2 inch wide.
- B. Tape joints of rigid insulation in accordance with roofing and insulation manufacturers' instructions.
- C. Insulation Fasteners: Impaling clip of unfinished steel with washer retainer and clips, to be adhered to surface to receive insulation, length to suit insulation thickness and substrate, capable of securely and rigidly fastening insulation in place.
- D. Adhesive: Type recommended by insulation manufacturer for application.

## **PART 3 EXECUTION**

### **3.1 EXAMINATION**

- A. Verify that substrate, adjacent materials, and insulation materials are dry and that substrates are ready to receive insulation.
- B. Verify substrate surfaces are flat, free of honeycomb, fins, irregularities, or materials or substances that may impede adhesive bond.

### **3.2 BATT INSTALLATION**

- A. Install insulation and vapor retarder in accordance with manufacturer's instructions.
- B. Install in exterior wall and roof spaces without gaps or voids. Do not compress insulation.
- C. Trim insulation neatly to fit spaces. Insulate miscellaneous gaps and voids.
- D. Fit insulation tightly in cavities and tightly to exterior side of mechanical and electrical services within the plane of the insulation.
- E. Install with factory applied vapor retarder membrane facing warm side of building spaces. Lap ends and side flanges of membrane over framing members.
- F. Tape seal butt ends, lapped flanges, and tears or cuts in membrane.

### **3.3 FIELD QUALITY CONTROL**

- A. See Section 01 4000 - Quality Requirements, for additional requirements.

### **3.4 PROTECTION**

- A. Do not permit installed insulation to be damaged prior to its concealment.

**END OF SECTION**

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**SECTION 08 5113**  
**ALUMINUM WINDOWS**

**PART 1 GENERAL**

**1.01 SECTION INCLUDES**

- A. Extruded aluminum windows, fixed.
- B. Factory glazing.

**1.02 RELATED REQUIREMENTS**

- A. Section 06 1000 - Rough Carpentry: Rough opening framing.
- B. Section 07 2500 - Weather Barriers: Sealing frame to weather barrier installed on adjacent construction.
- C. Section 07 9005 - Joint Sealers: Perimeter sealant and back-up materials.
- D. Section 08 4313 - Aluminum-Framed Storefronts: Operable sash within framing system.
- E. Section 08 8000 - Glazing.

**1.03 REFERENCE STANDARDS**

- A. AAMA/WDMA/CSA 101/I.S.2/A440 - North American Fenestration Standard/Specification for windows, doors, and skylights; 2011.
- B. AAMA CW-10 - Care and Handling of Architectural Aluminum From Shop to Site; 2015.
- C. AAMA 609 & 610 - Cleaning and Maintenance Guide for Architecturally Finished Aluminum (Combined Document); 2015.
- D. AAMA 611 - Voluntary Specification for Anodized Architectural Aluminum; 2012.
- E. AAMA CW-10 - Care and Handling of Architectural Aluminum From Shop to Site; American Architectural Manufacturers Association; 2012.
- F. ASTM E1105 - Standard Test Method for Field Determination of Water Penetration of Installed Exterior Windows, Skylights, Doors, and Curtain Walls, by Uniform or Cyclic Static Air Pressure Difference; 2015.

**1.04 ADMINISTRATIVE REQUIREMENTS**

- A. Preinstallation Meeting: Convene one week before starting work of this section.

**1.05 SUBMITTALS**

- A. See Section 013000 - Administrative Requirements, for submittal procedures.
- B. Product Data: Provide component dimensions, information on glass and glazing, internal drainage details, and descriptions of hardware and accessories.
- C. Grade Substantiation: Provide specified Grade Substantiation before submitting shop drawings or starting fabrication.
- D. Shop Drawings: Indicate opening dimensions, elevations of different types, framed opening tolerances, method for achieving air and vapor barrier seal to adjacent construction, anchorage locations, and installation requirements.
- E. Samples: Submit two samples, 12 by 12 inch in size illustrating typical corner construction, accessories, and finishes.
- F. Submit two samples of operating hardware.

- G. Grade Substantiation: Prior to submitting shop drawings or starting fabrication, submit one of the following showing compliance with specified grade:
  - 1. Evidence of AAMA Certification.
  - 2. Evidence of WDMA Certification.
  - 3. Evidence of CSA Certification.
  - 4. Test report(s) by independent testing agency itemizing compliance and acceptable to authorities having jurisdiction.
- H. Test Reports: Prior to submitting shop drawings or starting fabrication, submit test report(s) by independent testing agency showing compliance with performance requirements in excess of those prescribed by specified grade.
- I. Manufacturer's Installation Instructions: Include complete preparation, installation, and cleaning requirements.
- J. Field Quality Control Submittals: Report of field testing for water penetration and air leakage.
- K. Manufacturer's Qualification Statement.
- L. Installer's Qualification Statement.
- M. Warranty: Submit manufacturer warranty and ensure that forms have been completed in Owner's name and registered with manufacturer.

#### **1.06 QUALITY ASSURANCE**

- A. Manufacturer Qualifications: Company specializing in manufacturing products specified in this section with minimum three years of documented experience.
- B. Installer Qualifications: Company specializing in performing work of type specified and with at least three years of documented experience.

#### **1.07 DELIVERY, STORAGE, AND HANDLING**

- A. Comply with requirements of AAMA CW-10.
- B. Protect finished surfaces with wrapping paper or strippable coating during installation. Do not use adhesive papers or sprayed coatings that bond to substrate when exposed to sunlight or weather.

#### **1.08 FIELD CONDITIONS**

- A. Do not install sealants when ambient temperature is less than 40 degrees F.
- B. Maintain this minimum temperature during and 24 hours after installation of sealants.

#### **1.09 WARRANTY**

- A. See Section 017800 - Closeout Submittals, for additional warranty requirements.
- B. Correct defective Work within a five year period after Date of Substantial Completion.
- C. Provide five-year manufacturer warranty against failure of glass seal on insulating glass units, including interpane dusting or misting. Include provision for replacement of failed units.
- D. Provide five-year manufacturer warranty against excessive degradation of exterior finish. Include provision for replacement of units with excessive fading, chalking, or flaking.

### **PART 2 PRODUCTS**

#### **2.01 MANUFACTURERS**

- A. Aluminum Windows:
  - 1. Basis of Design: Kawneer 8225TL Thermal Fixed Windows.
  - 2. Other Acceptable Manufacturers:
    - a. EFCO; [www.efcocorp.com](http://www.efcocorp.com)
    - b. Arcadia Inc.; [www.arcadia.com](http://www.arcadia.com)

## **2.02 ALUMINUM WINDOWS**

- A. Aluminum Windows: Extruded aluminum frame, factory fabricated, factory finished, with related flashings, shims and anchorage and attachment devices.
  - 1. Frame Depth: 2-1/4 inch with 0.125" minimum frame thickness.
  - 2. Provide units factory glazed.
  - 3. Fabrication: Joints and corners flush, hairline, and weatherproof, accurately fitted and secured; prepared to receive anchors; fasteners and attachments concealed from view; reinforced as required for operating hardware and imposed loads.
  - 4. Perimeter Clearance: Minimize space between framing members and adjacent construction while allowing expected movement.
  - 5. Movement: Accommodate movement between window and perimeter framing and deflection of lintel, without damage to components or deterioration of seals.
  - 6. System Internal Drainage: Drain to the exterior by means of a weep drainage network any water entering joints, condensation occurring in glazing channel, and migrating moisture occurring within system.
  - 7. Thermal Movement: Design to accommodate thermal movement caused by 180 degrees F surface temperature without buckling stress on glass, joint seal failure, damaging loads on structural elements, damaging loads on fasteners, reduction in performance or other detrimental effects.
- B. Performance Requirements: Provide products that comply with the following:
  - a. Performance Class and Grade: AW-PG100-FW.

## **2.03 COMPONENTS**

- A. General
  - 1. All aluminum frame and vent extrusions shall have a minimum wall thickness of .080" (2 mm). Frame sill members shall have a minimum wall thickness of .094" (2.3 mm).
  - 2. Mechanical fasteners, welded components, and hardware items shall not bridge thermal barriers.
  - 3. Depth of frame shall not be less than 3 7/8" (98 mm).
- B. Frame
  - 1. Frame components shall be mechanically fastened.
- C. Sash
  - 1. All sash extrusions shall have a minimum wall thickness of .080" (2 mm).
  - 2. All horizontal sash extrusions shall be tubular.
  - 3. Corner connections shall be mechanically fastened.
- D. Glazing: As specified in Section 08 8000.
- E. Fasteners: Stainless steel.
- F. Glazing Materials: As specified in Section 08 8000.
- G. Sealant for Setting Sills and Sill Flashing: Non-curing butyl type.
- H. Sealant and Backing Materials: As specified in Section 07 9005.

## **2.04 MATERIALS**

- A. Aluminum
  - 1. Extruded aluminum shall be 6063-T6 alloy and tempered.
- B. Glass
- C. Window manufacturer to furnish and install Sealed Insulated - Low "E" glazing units in compliance with ASTM E-744. U-Factor lower than 0.60 and with a SHGC less than 0.40.
- D. Glazing tint Colors: As selected from manufacturer's full range of colors



- E. Thermal Barrier
  - 1. All exterior aluminum shall be separated from interior aluminum by a rigid, structural thermal barrier. For purposes of this specification, a structural thermal barrier is defined as a system that shall transfer shear during bending and, therefore, promote composite action between the exterior and interior extrusions.
  - 2. Sills are thermally broken with thermal struts, consisting of glass reinforced polyamide nylon, mechanically crimped in raceways extruded in the exterior and interior extrusions. All other frames and sash are thermally broken using the latest technology in two-part, high-density polyurethane. A nonstructural thermal barrier is unacceptable.

## **2.06 FINISHES**

- A. Class I Natural Anodized Finish: AAMA 611 AA-M12C22A41 Clear anodic coating not less than 0.7 mils thick.
- B. Apply one coat of bituminous coating to concealed aluminum and steel surfaces in contact with dissimilar materials.

## **PART 3 EXECUTION**

### **3.01 EXAMINATION**

- A. Verify that wall openings and adjoining air and vapor seal materials are ready to receive aluminum windows.

### **3.02 INSTALLATION**

- A. Install windows in accordance with manufacturer's instructions.
- B. Install window assembly in accordance with AAMA/WDMA/CSA 101/I.S.2/A440.
- C. Attach window frame and shims to perimeter opening to accommodate construction tolerances and other irregularities.
- D. Align window plumb and level, free of warp or twist. Maintain dimensional tolerances and alignment with adjacent work.
- E. Install sill and sill end angles.
- F. Set sill members and sill flashing in continuous bead of sealant.
- G. Provide thermal isolation where components penetrate or disrupt building insulation. Pack fibrous insulation in shim spaces at perimeter of assembly to maintain continuity of thermal barrier.
- H. Coordinate attachment and seal of perimeter air barrier and vapor retarder materials.
- I. Install operating hardware not pre-installed by manufacturer. Install glass and infill panels in accordance with requirements specified in Section 088000.
- J. Install perimeter sealant in accordance with requirements specified in Section 079005.

### **3.03 TOLERANCES**

- A. Maximum Variation from Level or Plumb: 1/16 inches every 3 ft non-cumulative or 1/8 inches per 10 ft, whichever is less.

### **3.04 FIELD QUALITY CONTROL**

- A. Provide services of aluminum window manufacturer's field representative to observe for proper installation of system and submit report.

### **3.05 FIELD QUALITY CONTROL**

- A. Test installed windows for compliance with performance requirements for water penetration, in accordance with ASTM E1105 using uniform pressure and the same pressure difference as specified for laboratory testing.
- B. If any window fails, test additional windows at Contractor's expense.

- C. Replace windows that have failed field testing and retest until performance is satisfactory.

**3.06 CLEANING**

- A. Remove protective material from factory finished aluminum surfaces.
- B. Wash surfaces by method recommended and acceptable to window manufacturer; rinse and wipe surfaces clean.
- C. Upon completion of installation, thoroughly clean aluminum surfaces in accordance with AAMA 609 & 610.
- D. Remove excess glazing sealant by moderate use of mineral spirits or other solvent acceptable to sealant and window manufacturer.

**END OF SECTION**

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## **SECTION 08 8000**

### **GLAZING**

#### **PART 1 GENERAL**

##### **1.1 SECTION INCLUDES**

- A. Glass and glazing materials for windows, and doors.
- B. Laminated glass for exterior hollow metal doors and frames.
- B. Glazing compounds and accessories.

##### **1.2 RELATED SECTIONS**

- A. Section 07 9200 - Joint Sealers: Sealant and back-up material.

##### **1.3 REFERENCES**

- A. 16 CFR 1201 – Safety Standard for Architectural Glazing Materials, current edition.
- B. ASTM C 1036 - Standard Specification for Flat Glass; current edition.
- C. ASTM C 1048 - Standard Specification for Heat-Treated Flat Glass--Kind HS, Kind FT Coated and Uncoated Glass; current edition.
- D. ASTM C1172 – Standard Specification for Laminated Architectural Flat Glass, current edition
- E. ASTM C 1193 - Standard Guide for Use of Joint Sealants; current edition.
- F. ASTM E 1300 - Standard Practice for Determining Load Resistance of Glass in Buildings; current edition.
- G. GANA (GM) - GANA Glazing Manual; Glass Association of North America; current edition.
- H. GANA (SM) - FGMA Sealant Manual; Glass Association of North America; current edition.

##### **1.4 PERFORMANCE REQUIREMENTS**

- A. Provide impact resistant glass and glazing materials for continuity of building enclosure vapor retarder and air barrier:
  - 1. In conjunction with materials described in Section 07 9200.
  - 2. To utilize the inner pane of multiple pane sealed units for the continuity of the air barrier and vapor retarder seal.
  - 3. To maintain a continuous air barrier and vapor retarder throughout the glazed assembly from glass pane to heel bead of glazing sealant.
- B. Select type and thickness of exterior glass to withstand dead loads and wind loads acting normal to plane of glass at design pressures calculated in accordance with applicable code.
  - 1. Use the procedure specified in ASTM E 1300 to determine glass type and thickness.
  - 2. Limit glass deflection to 1/200 or flexure limit of glass, whichever is less, with full recovery of glazing materials.
  - 3. Thicknesses listed are minimum.

##### **1.5 SUBMITTALS**

- A. See Section 01 3000 - Administrative Requirements, for submittal procedures.
- B. Product Data on Glass Types: Provide structural, physical and environmental characteristics, size limitations, and special handling or installation requirements.
- C. Product Data on Glazing Compounds: Provide chemical, functional, and environmental characteristics, limitations, special application requirements. Identify available colors.
- D. Samples of each glass type indicating color and tint properties, for Architect approval.
- E. Manufacturer's Certificate: Certify that glass meets or exceeds specified requirements.

## **1.6 QUALITY ASSURANCE**

- A. Perform Work in accordance with GANA Glazing Manual and FGMA Sealant Manual for glazing installation methods.
- B. Installer Qualifications: Company specializing in performing the work of this section with minimum five years documented experience.

## **1.7 ENVIRONMENTAL REQUIREMENTS**

- A. Do not install glazing when ambient temperature is less than 50 degrees F.
- B. Maintain minimum ambient temperature before, during and 24 hours after installation of glazing compounds.

## **1.8 WARRANTY**

- A. See Division 1 sections for additional warranty requirements.
- B. Provide a five (5) year warranty to include coverage for sealed glass units from seal failure, interpane dusting or misting, and replacement of same.
- C. Provide a five (5) year warranty to include coverage for delamination of laminated glass and replacement of same.
- D. The Warranties submitted under this Section shall not deprive the Owner of other rights or remedies that the Owner may have under other provisions of the Contract Documents and the laws of governing jurisdictions and is in addition to and runs concurrently with other warranties made by the Contractor under requirements of the Contract Documents.

# **PART 2 PRODUCTS**

## **2.1 SEALED INSULATING GLASS MATERIALS**

- A. Acceptable Manufacturers:
  - 1. Basis of Design: PPG Industries, Inc, "Starphire": [www.afgglass.com](http://www.afgglass.com).
  - 5. Substitutions permitted under provisions of Section 01 6000 – Product Requirements.

## **2.2 SEALED INSULATING VISION GLASS**

- A. Applications: Exterior glazing unless otherwise indicated.
- B. Space between lites filled with air.
- C. 1" Double insulated glazing system (1/4" low-E tinted tempered glass, 1/2" airspace, 1/4" clear tempered glass), color as selected by Architect.
- E. Glass Performance Requirements (minimum)
  - 1. Winter Night-time U-value: 0.29
  - 2. Summer Day-time U-value: 0.27
  - 3. Visible Light Reflectance: 11%
  - 4. Shading Coefficient: 0.45
  - 5. Visible Light Transmittance: 70%
  - 6. Total Solar Energy Transmittance: 34%
  - 7. Total Solar Energy Reflectance: 28%
  - 8. Ultra-violet Light Transmittance: 18%
  - 9. Solar Heat Gain Coefficient: .39
  - 10. Light to Solar Gain: 1.79

## **2.3 LAMINATED GLASS**

- A. Manufacturers
  - 1. Cardinal Glass Industries: [www.cardinalcorp.com](http://www.cardinalcorp.com)
  - 2. Viracon, Architectural Glass segment of Apogee Enterprises: [www.viracon.com](http://www.viracon.com)
  - 3. Tecnoglass: [www.tecnoglass.com](http://www.tecnoglass.com)

4. Substitutions: See Section 01 6000 Product Requirements.
- B. Laminated Glass: Float glass laminated in accordance with ASTM C1172.
  1. Laminated Safety Glass: Complies with ANSI Z97.1 – Class B or 16 CFR 1201 Category I impact test requirements.
  2. Polyvinyl Butyral (PVB) Interlayer: 0.030 inch thick, minimum.
  3. Ionoplast Interlayer 0.035 inch thick, minimum.
  4. Unit Thickness: 1/2" minimum.
  5. Provide laminated glass for exterior hollow metal doors and frames.

## **2.4 GLAZING MATERIALS**

- A. Manufacturers:
  1. Norton Performance Plastics Corp.
  2. Pecora Corporation: [www.pecora.com](http://www.pecora.com).
  3. Tremco, Inc: [www.tremcosealants.com](http://www.tremcosealants.com).
  4. Substitutions permitted under provisions of Section 01 6000 – Product Requirements.
- B. Provide types for applicable setting method specified in GANA Glazing Manual and FGMA Sealant Manual except as specified otherwise. Do not use metal sash putty, non-skinning compounds, non-resilient preformed sealers or impregnated preformed gaskets.
- C. Materials Exposed to View and Unpainted: Black.
- D. Accessories: As required for complete installation. Include glazing points, clips, shims, angles, beads, gaskets and spacers. Provide primer-sealers and cleaners as recommended by glass and sealant manufacturer.

## **PART 3 EXECUTION**

### **3.1 EXAMINATION**

- A. Verify that openings for glazing are correctly sized and within tolerance.
- B. Verify that surfaces of glazing channels or recesses are clean, free of obstructions that may impede moisture movement, weeps are clear, and ready to receive glazing.

### **3.2 PREPARATION**

- A. Clean contact surfaces with solvent and wipe dry.
- B. Seal porous glazing channels or recesses with substrate compatible primer or sealer.
- C. Prime surfaces scheduled to receive sealant.
- D. Install sealants in accordance with ASTM C 1193 and FGMA Sealant Manual.
- E. Install sealant in accordance with manufacturer's instructions.

### **3.3 INSTALLATION**

- A. Install glass in accordance with recommendations and procedures in GANA Glazing Manual and FGMA Sealant Manual.
- B. Install glass in accordance with storefront frame manufacturer recommendations and instructions.
- C. Install glass with lines or waves horizontal.

### **3.4 CLEANING**

- A. Remove glazing materials from finish surfaces.
- B. Remove labels after Work is complete.
- C. Clean glass and adjacent surfaces.

**3.05 PROTECTION OF FINISHED WORK**

- A. After installation, mark pane with an 'X' by using removable plastic tape or paste; do not mark heat absorbing or reflective glass units.

**END OF SECTION**





JC DIVERSION CENTER RENOVATION  
3890 FM3514, BEAUMONT, TX 77705

B/A PROJ. 23141  
#:  
05/02/2024 SCHEMATIC DESIGN  
06/14/2024 DESIGN DEVELOPMENT  
08/23/2024 90% CONSTRUCTION DOCUMENTS  
09/23/2024 100% CONSTRUCTION DOCUMENTS  
11/01/2024 ADDENDUM # 01



100% CONSTRUCTION DOCUMENTS ADDENDUM #01

PROJECT TEAM:

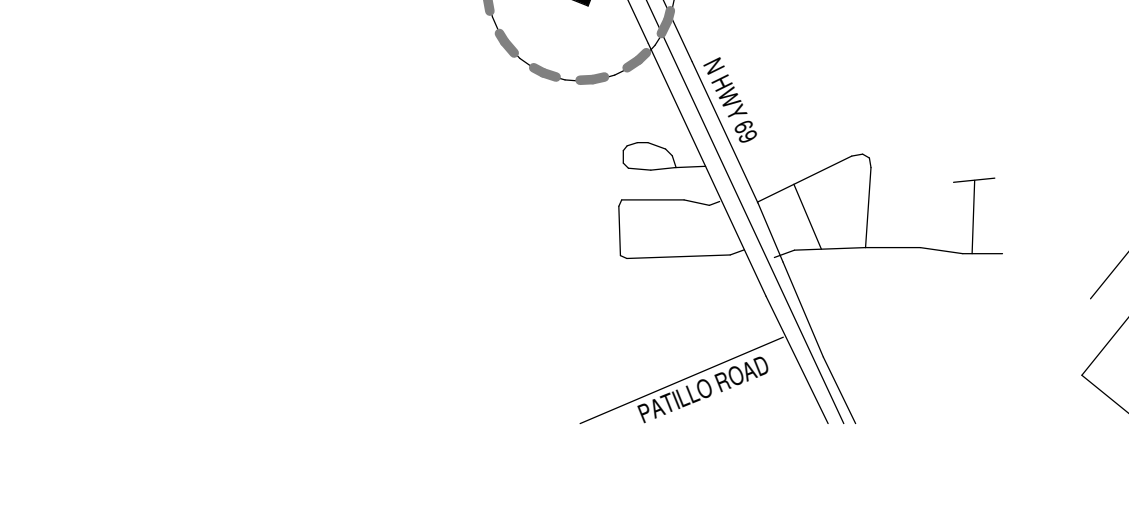
|                   |                         |
|-------------------|-------------------------|
| ARCHITECT         | BRAVE / ARCHITECTURE    |
| CIVIL             | DALLY + ASSOCIATES      |
| LANDSCAPE         | KW LANDSCAPE ARCHITECTS |
| STRUCTURAL        | DALLY + ASSOCIATES      |
| MEP               | ASEI ENGINEERING        |
| BUILDING ENVELOPE | PRICE CONSULTING, INC   |
| AV/IT CONSULTANT  | DATACOM DESIGN GROUP    |



|  |   |
|--|---|
|  | GRASS   |
|  | COMPACTED EARTH FILL (SECTION)                    |
|  | ROCK FILL (SECTION)                               |
|  | COMMON BRICK (PLAN AND SECTION)                   |
|  | TYPICAL CMU (PLAN AND SECTION)                    |
|  | CAST-IN-PLACE CONCRETE (SECTION)                  |
|  | TYPICAL STONE (SECTION)                           |
|  | MARBLE (PLAN AND SECTION)                         |
|  | TERRAZZO (SECTION)                                |
|  | CERAMIC TILE (SECTION)                            |
|  | STEEL (PLAN AND SECTION)                          |
|  | SOLID SURFACING (SECTION)                         |
|  | CEMENT BOARD (SECTION)                            |
|  | GYPSUM BOARD (SECTION)                            |
|  | PLASTER (PLAN AND SECTION)                        |
|  | METAL SOFFIT PANEL                                |
|  | PLYWOOD (SECTION)                                 |
|  | FINISHED WOOD (PLAN, ELEV. AND SECTION)           |
|  | BATT INSULATION (SECTION)                         |
|  | BATT INSULATION (SECTION)                         |
|  | ACOUSTICAL TILE (SECTION)                         |
|  | WOOD FRAMING - INTERRUPTED (BLOCKING, SHIM, ETC.) |
|  | WOOD FRAMING - CONTINUOUS (SECTION)               |

| MATERIAL CONVENTIONS |   | 15 |
|----------------------|---|----|
|                      | FLOOR DUPLEX OUTLET - GROUNDED  |    |
|                      | FLOOR TELEPHONE OUTLET  |    |
|                      | FLOOR DATA OUTLET   |    |
|                      | FLOOR DATA / ELECTRICAL OUTLET  |    |
|                      | WALL MOUNTED DUPLEX POWER OUTLET WITH WEATHERPROOF COVER - GROUNDED                                       |    |
|                      | WALL MOUNTED DUPLEX POWER OUTLET (GROUNDED)   |    |
|                      | WALL MOUNTED DUPLEX POWER OUTLET (GFI)  |    |
|                      | WALL MOUNTED QUADPLEX POWER OUTLET (GROUNDED)   |    |
|                      | PLUGMOLD - GROUNDED   |    |
|                      | WALL MOUNTED TELEPHONE OUTLET (GROUNDED)  |    |
|                      | WALL MOUNTED DATA / ELECTRICAL OUTLET   |    |
|                      | WALL MOUNTED DATA OUTLET  |    |
|                      | WALL MOUNTED COAX OUTLET  |    |
|                      | WALL MOUNTED LIGHT FIXTURE  |    |
|                      | ELECTRICAL J BOX  |    |
|                      | 2X4 FLUORESCENT LIGHT FIXTURE.  |    |
|                      | 2X2 FLUORESCENT LIGHT FIXTURE.  |    |
|                      | 1X4 FLUORESCENT LIGHT FIXTURE.  |    |
|                      | FLUORESCENT STRIP LIGHT.  |    |
|                      | RECESSED "CAN" LIGHT FIXTURE. SEE MEP   |    |
|                      | RECESSED "CAN" ADJUSTABLE LIGHT FIXT-POINT TO DIRECTION OF ARROW.   |    |
|                      | PENDANT LIGHT FIXTURE.  |    |
|                      | BUILDING WALL LIGHT FIXTURE. SEE MEP  |    |
|                      | PENDANT HUNG MH LIGHT FIXTURE. SEE MEP  |    |
|                      | CEILING SPEAKER - RECESSED  |    |
|                      | WALL SCONCE LIGHT FIXTURE. SEE MEP  |    |
|                      | PENDANT LIGHT FIXTURE. DRAW TO SCALE. SEE MEP   |    |
|                      | FIRE SPRINKLER HEAD. COORDINATE WITH SPRINKLER INSTALLER. ARCHITECT HAS FINAL APPROVAL OF HEAD LOCATIONS. |    |
|                      | TRACK LIGHTING. DRAW TO SCALE. SHOW CORRECT NUMBER OF HEADS   |    |
|                      | WALL MOUNTED "HOLLYWOOD" LIGHTING   |    |
|                      | GROUND MOUNTED UP LIGHT(S)  |    |
|                      | WALL SWITCH   |    |
|                      | WALL SWITCH (3-WAY)   |    |
|                      | WALL SWITCH (4-WAY)   |    |
|                      | WALL SWITCH DIMMER  |    |
|                      | RECESS MOUNTED SECURITY ACCESS CARD   |    |
|                      | RECESS MOUNTED SECURITY KEY PAD   |    |
|                      | RECESS MOUNTED SECURITY CONTROL PANEL   |    |
|                      | WALL MOUNTED SMOKE DETECTOR   |    |
|                      | WALL MOUNTED EMERGENCY LIGHT BATTERY POWERED  |    |
|                      | EXIT LIGHT CEILING MOUNTED; NON-DIRECTIONAL   |    |
|                      | EXIT LIGHT CEILING MOUNTED - DIRECTIONAL. POINT ARROW IN DIRECTION OF EGRESS                              |    |
|                      | EXIT LIGHT WALL MOUNTED; NON-DIRECTIONAL  |    |
|                      | EXIT LIGHT WALL MOUNTED - DIRECTIONAL. POINT ARROW IN DIRECTION OF EGRESS                                 |    |
|                      | WALL MOUNTED THERMOSTAT   |    |
|                      | WALL MOUNTED BELL BUTTON  |    |
|                      | WALL MOUNTED BELL CHIME   |    |
|                      | WALL MOUNTED CLOCK  |    |

|                               |  |    |
|-------------------------------|--|----|
| MECH. & ELEC. DRAWING SYMBOLS |  | 16 |
|-------------------------------|--|----|

|  |  |                                    |
|---|--|------------------------------------|
| SITE LOCATION MAP   |  |                                    |
| SHEET INDEX   |  |                                    |
| SHEET NUMBER  | SHEET NAME   | 24SEP23 100 CD<br>24NOV01 ADD # 01 |
| GENERAL INFORMATION   |  |                                    |
| G.001   | INDEX & GENERAL INFO                                     | Yes Yes                            |
| G.010   | CODE REVIEW  | Yes Yes                            |
| G.011   | LIFE SAFETY SITE PLAN                                    | Yes                                |
| G.012   | LIFE SAFETY FLOOR PLAN                                   | Yes                                |
| G.020   | TEXAS ACCESSIBILITY GUIDELINES                           | Yes                                |
| G.030   | SITE SURVEY  | Yes                                |
| G.050   | MASTER KEY NOTES & GENERAL NOTES                         | Yes                                |
| G.051   | MASTER KEY NOTES   | Yes                                |
| DEMOLITION  |  |                                    |
| D.001   | DEMOLITION PLAN  | Yes Yes                            |
| D.002   | LAYOUT PLAN  | Yes                                |
| D.003   | PAVING PLAN  | Yes                                |
| D.004   | UTILITY PLAN   | Yes                                |
| D.005   | GRADING PLAN   | Yes                                |
| D.006   | DRAINAGE AREA MAP  | Yes                                |
| D.007   | SWPP   | Yes                                |
| D.008   | SITE DETAIL SHEET 1 OF 2                                 | Yes                                |
| D.009   | SITE DETAIL SHEET 2 OF 2                                 | Yes                                |
| LANDSCAPE   |  |                                    |
| L.001   | LANDSCAPE PLAN   | Yes                                |
| L.002   | LANDSCAPE NOTES AND DETAILS                              | Yes                                |
| L.003   | IRRIGATION PLAN  | Yes                                |
| L.004   | IRRIGATION NOTES AND DETAILS                             | Yes                                |
| DEMOLITION DRAWINGS   |  |                                    |
| D.010   | DEMOLITION - SITE PLAN                                   | Yes                                |
| D.011   | DEMOLITION - OVERALL FLOOR PLAN                          | Yes Yes                            |
| D.012   | DEMOLITION - ENLARGED FLOOR PLAN POD 200                 | Yes Yes                            |
| D.013   | DEMOLITION - INTERIOR PHOTOS                             | Yes Yes                            |
| D.014   | DEMOLITION - OVERALL REFLECTED CEILING PLAN              | Yes Yes                            |
| D.015   | DEMOLITION - ENLARGED REFLECTED CEILING POD 200          | Yes Yes                            |
| D.016   | DEMOLITION - ROOF PLAN                                   | Yes                                |
| D.017   | DEMOLITION - EXTERIOR ELEVATION                          | Yes                                |
| SITE DRAWINGS   |  |                                    |
| A.010   | SITE PLAN  | Yes                                |
| A.030   | ENLARGED SITE PLAN                                       | Yes                                |
| A.040   | SITE DETAILS   | Yes                                |
| FLOOR PLANS   |  |                                    |
| A.101   | OVERALL FLOOR PLAN                                       | Yes Yes                            |
| A.102   | ENLARGED FLOOR PLAN - POD 200                            | Yes                                |
| A.103   | ENLARGED FLOOR PLAN - POD 400                            | Yes                                |
| A.104   | OVERALL REFLECTED CEILING PLAN                           | Yes                                |
| A.105   | ENLARGED REFLECTED CEILING PLAN - POD 200                | Yes Yes                            |
| A.106   | ENLARGED REFLECTED CEILING PLAN - POD 400                | Yes Yes                            |
| A.107   | FINISH SCHEDULE  | Yes Yes                            |
| A.108   | OVERALL FINISH PLAN                                      | Yes Yes                            |
| A.109   | ENLARGED FINISH PLAN - POD 200                           | Yes Yes                            |
| ROOF PLANS  |  |                                    |
| A.200   | ROOF PLAN  | Yes                                |
| A.201   | ROOF DETAILS   | Yes Yes                            |
| BUILDING ELEVATIONS   |  |                                    |
| A.300   | EXTERIOR ELEVATIONS                                      | Yes                                |
| BUILDING SECTIONS   |  |                                    |
| A.401   | BUILDING SECTIONS  | Yes                                |
| A.402   | BUILDING SECTIONS  | Yes                                |
| WALL SECTIONS   |  |                                    |
| A.501   | INTERIOR WALL SECTIONS                                   | Yes                                |
| A.502   | EXTERIOR WALL SECTIONS                                   | Yes Yes                            |
| BUILDING DETAILS  |  |                                    |
| A.601   | PLAN DETAILS   | Yes Yes                            |
| A.602   | SECTION DETAILS  | Yes Yes                            |
| A.603   | EXTERIOR GLAZING & DOOR DETAILS                          | Yes Yes                            |
| A.604   | UL FIRE RATED ASSEMBLIES                                 | Yes                                |
| INTERIOR DETAILS  |  |                                    |
| A.701   | INTERIOR ELEVATIONS                                      | Yes Yes                            |
| A.702   | INTERIOR SECTIONS  | Yes Yes                            |
| A.703   | MILLWORK DETAILS   | Yes                                |
| A.711   | MILLWORK DETAILS   | Yes                                |
| A.730   | STANDARD MOUNTING, LOCATIONS & TOILET ROOM CONFIGURATION | Yes                                |
| SCHEDULES   |  |                                    |
| A.801   | TYPICAL DOOR TYPES, SCHEDULES & HARDWARE TYPES           | Yes Yes                            |
| A.802   | WINDOW TYPES   | Yes                                |
| A.803   | GLAZING SCHEDULE   | Yes                                |
| A.804   | GLAZING SCHEDULE, FRAME TYPES & INTERIOR GLAZING DETAILS | Yes Yes                            |
| STRUCTURAL  |  |                                    |
| S101  | GENERAL STRUCTURAL CRITERIA                              | Yes                                |
| S201  | DEMO PLAN  | Yes                                |
| S202  | FOUNDATION PLAN  | Yes                                |
| S301  | TYPICAL SITE FOUNDATION DETAILS                          | Yes                                |
| MECHANICAL  |  |                                    |
| M0.1  | MECHANICAL ABBREVIATIONS AND SYMBOLS                     | Yes                                |
| M0.2  | MECHANICAL COMCHECK                                      | Yes                                |
| M0.3  | MECHANICAL COMCHECK                                      | Yes                                |
| M1.1  | MECHANICAL PLAN  | Yes                                |
| M2.1  | MECHANICAL SCHEDULES                                     | Yes                                |
| M2.2  | OUTSIDE AIR CALCULATIONS                                 | Yes                                |
| M2.3  | MECHANICAL DETAILS                                       | Yes                                |

|   |                                |
|---|--------------------------------|
| <b>JC DIVERSION CENTER<br/>RENOVATION</b>   |                                |
| 3890 FM3514, BEAUMONT, TX 77705   |                                |
| B/A Project No.: 23141  |                                |
| <b>BRAVE/</b> architectural   |                                |
| 4200 Montrose Blvd., Suite 400<br>Houston, Texas 77006<br>713.524.5858 v / 713.524.5868 f<br>studio@bravearchitecture.com   |                                |
|    |                                |
| <b>CIVIL</b><br>DALLY + ASSOCIATES<br>9800 RICHMOND AVE SUITE 460<br>HOUSTON, TEXAS 77042<br>Civil Contact  |                                |
| <b>LANDSCAPE</b><br>KW LANDSCAPE ARCHITECTS<br>6925 PORTWEST DRIVE, SUITE 100<br>HOUSTON, TEXAS 77024<br>Landscape Contact  |                                |
| <b>STRUCTURAL</b><br>DALLY + ASSOCIATES<br>9800 RICHMOND AVE, SUITE 460<br>HOUSTON, TEXAS 77042<br>Structural Contact   |                                |
| <b>MEP</b><br>ASEI ENGINEERING<br>350 GLENBOROUGH DR, SUITE 270<br>HOUSTON, TX 77067<br>MEP Contact   |                                |
| <b>BUILDING ENVELOPE</b><br>PRICE CONSULTING, INC<br>211 HIGHLAND CROSS DRIVE SUITE<br>200 HOUSTON, TX 77073<br>Consultant Contact  |                                |
| <b>AV/IT CONSULTANT</b><br>DATACOM DESIGN GROUP<br>9111 JOLLYVILLE ROAD, SUITE 290<br>AUSTIN, TX 78759<br>Consultant Contact  |                                |
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| SEAL:   |                                |
|    |                                |
| 10/30/2024  |                                |
| FILE:   |                                |
| DRAWN BY:   |                                |
| CHECKED BY:   | Author<br>Checker              |
| ISSUE:  |                                |
| 05/02/2024  | SCHEMATIC DESIGN               |
| 06/14/2024  | DESIGN DEVELOPMENT             |
| 08/23/2024  | 90% CONSTRUCTION<br>DOCUMENTS  |
| 09/23/2024  | 100% CONSTRUCTION<br>DOCUMENTS |
| 1 11/01/2024  | ADDENDUM # 01                  |
| INDEX & GENERAL INFO  |                                |
| Scale:  | AS NOTED                       |
| <b>G.001</b>  |                                |



JEFFERSON COUNTY  
DIVERSION CENTER  
RENOVATION

3890 FM 3514, BEAUMONT, TX 77705

B/A Project No.: 23141



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Civil Contact

**LANDSCAPE**  
KW LANDSCAPE ARCHITECTS  
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**STRUCTURAL**  
DALLY + ASSOCIATES  
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HOUSTON, TEXAS 77042  
Structural Contact

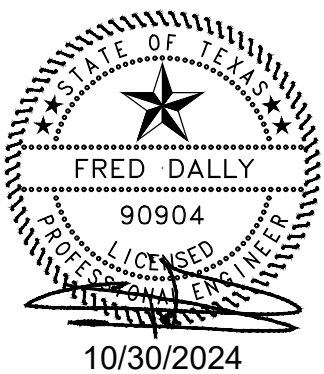
**MEP**  
ASEI ENGINEERING  
350 GLENBOROUGH DR, SUITE 270  
HOUSTON, TX 77067  
MEP Contact

**BUILDING ENVELOPE**  
PRICE CONSULTING, INC  
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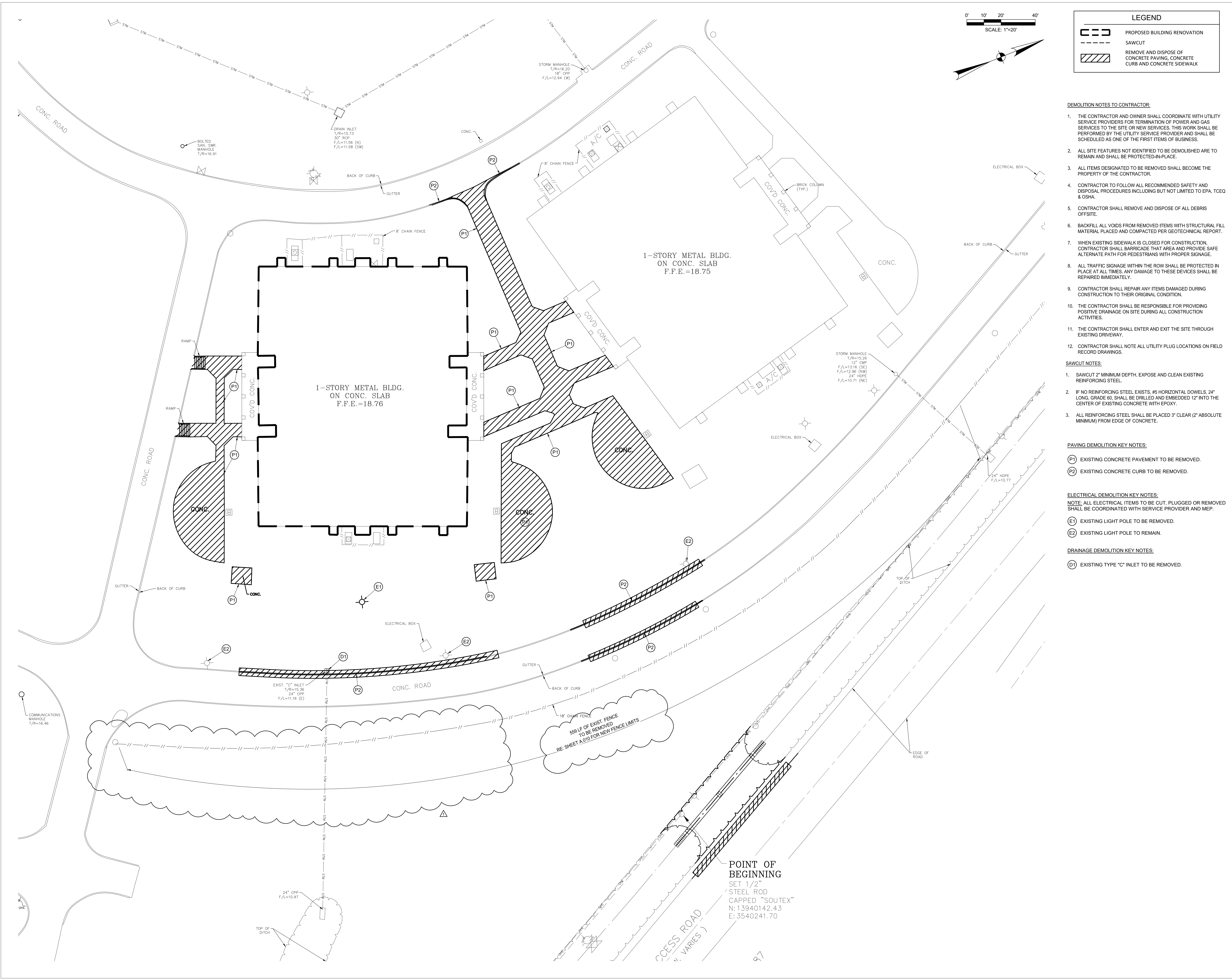


FILE:  
DRAWN BY:  
CHECKED BY:  
ISSUE:  
05/02/2024 SCHEMATIC DESIGN  
06/14/2024 DESIGN DEVELOPMENT  
08/23/2024 90% CONSTRUCTION  
DOCUMENTS  
09/23/2024 ISSUE FOR BID & PERMIT  
10/30/2024 ADDENDUM 1

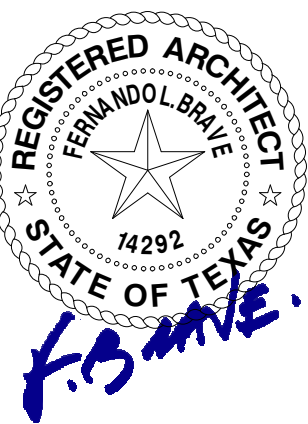
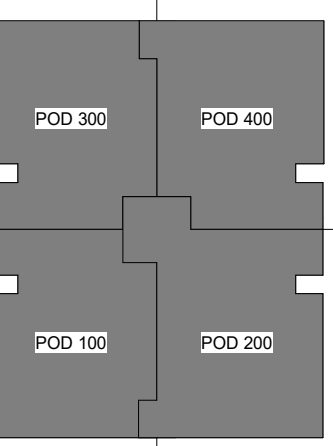
DEMOLITION PLAN

Scale: AS NOTED

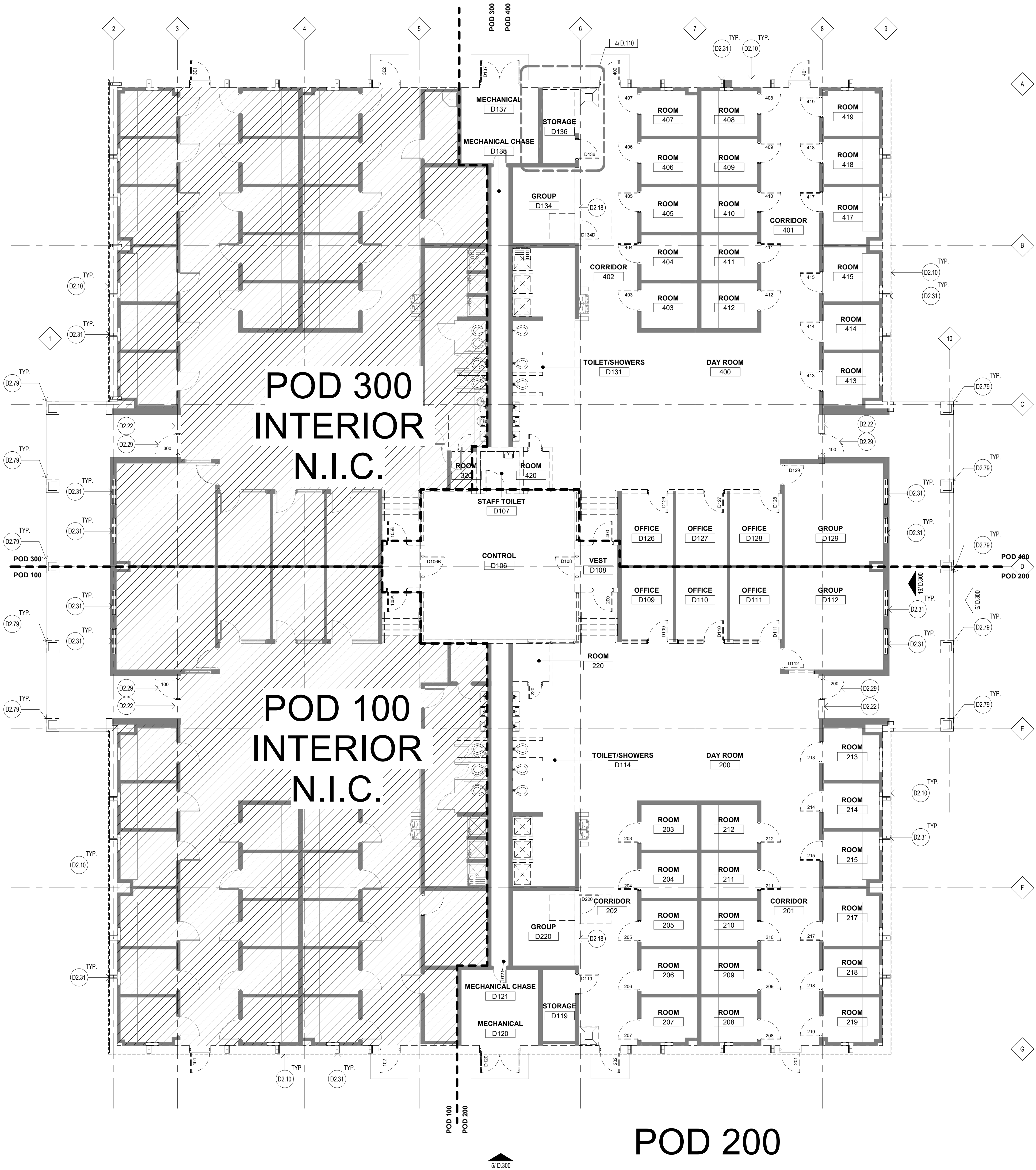
C1.00







POD 400



D2.10 Remove metal wall panels and metal stud walls, structure to remain  
D2.18 Remove wall, door and window in this area to receive new hollow metal frame and door. Re: proposed floor plans.  
D2.22 Remove wall finishes, patch and prepare surface for new construction  
D2.29 Remove door and frame, patch and prepare surface for new construction  
D2.31 Remove window and frame, prepare for new windows, refer to floor plans for opening size  
D2.79 Remove column surround. Structure to remain.

MODIFIED DEMOLITION SCOPE OF WORK

Mold Remediation demolition scope has been modified, so Demolition required by GC has been reduced.  
Listed below are items allocated to Remediation vs. Remediation GC.  
Sheet notes on D.101, D.110, D.111, D.121 and D.125 revised.

Mold Remediation Demolition scope of work (Not in Contract)

- a) All interior doors from hinges down will be removed.  
b) All exterior doors and frames will be cleaned wiped down, no demolition.  
c) All CMU wall and interior dry wall with mold will be wiped down, no demolition.  
d) All types of ceilings in POD 200 and 400 and all ceiling mounted lighting fixtures to be demolished.  
e) Raised floor, steps, walls, windows, ceiling grid and ceiling tiles at Control Room to be demolished.  
f) Existing mechanical ductwork and existing smoke purge system to be demolished.

Remediation GC Demolition scope of work (in Contract)

- a) All interior door frames to be demolished as shown in the drawings.  
b) All exterior doors and frames to be demolished as shown in the drawings.  
c) All CMU wall and interior dry wall to be demolished as shown in the drawings.  
d) Existing ductwork removal by remediation contractor may leave holes in the wall of the mechanical room/mezzanine floor or other spaces that needs to be patched and repaired.  
e) Exterior soffit at entry canopy and exterior walls to be demolished as shown in the drawings.  
f) Existing roof patching at noted locations to be repaired and patched as noted in the drawings.

KEYNOTES

- NOT IN SCOPE  
EXISTING TO REMAIN  
EXISTING TO BE DEMOLISHED

- NOTES:  
1. ALL UNIT DOORS TO BE REPLACED.  
2. REF. D.110 FOR TYPICAL DEMOLITION NOTES FOR ALL PODS, U.N.O.



JC DIVERSION CENTER  
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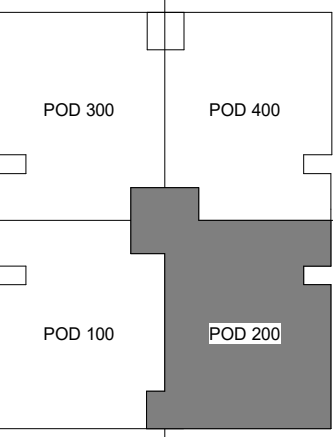
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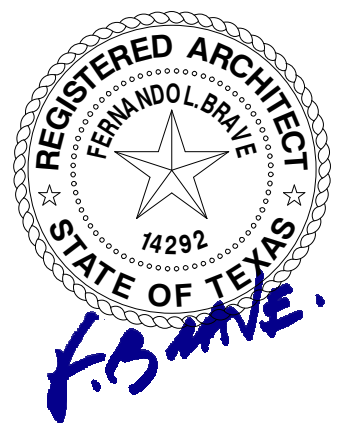
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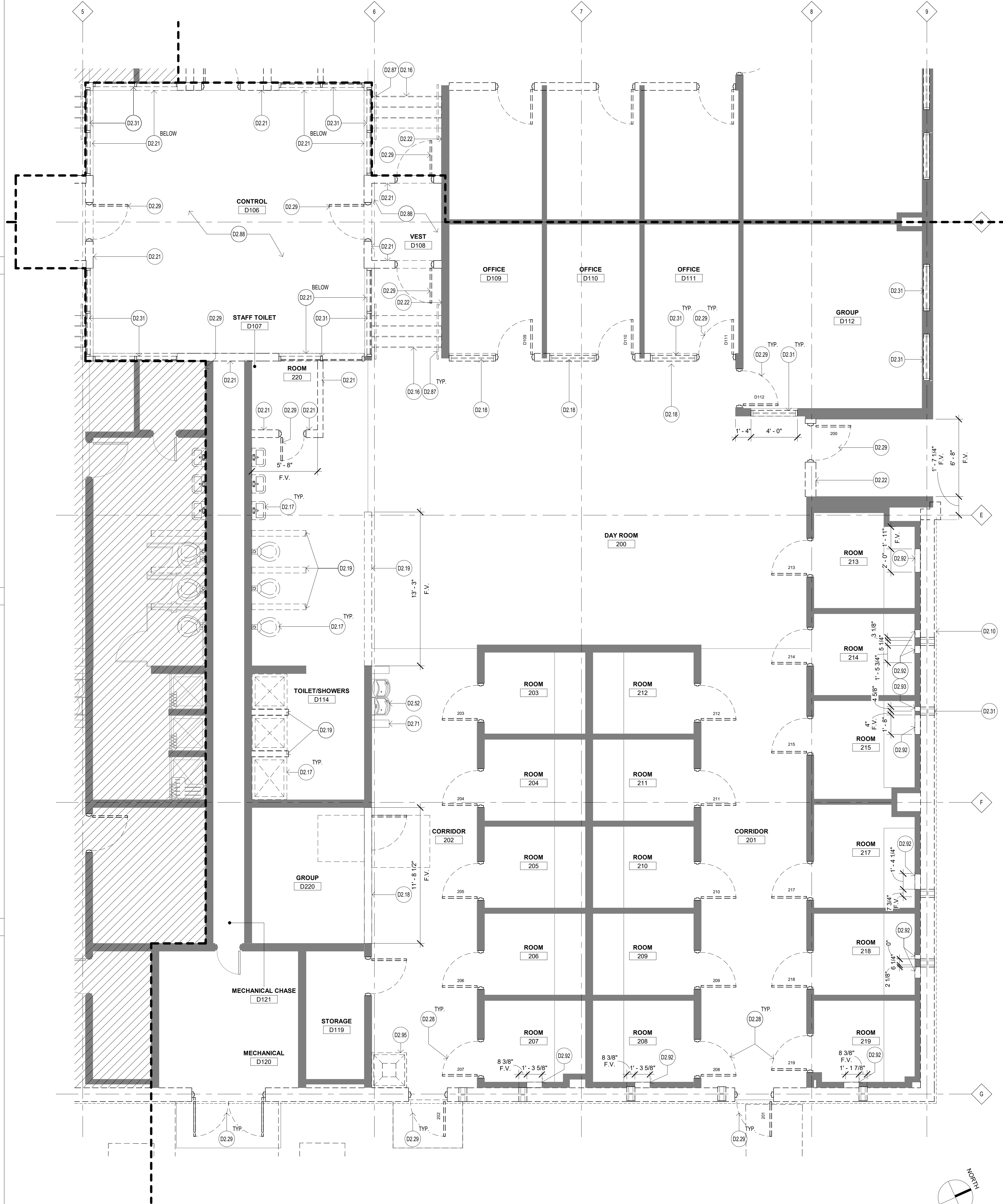
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1 11/01/2024 ADDENDUM # 01

DEMOLITION - ENLARGED  
FLOOR PLAN POD 200

Scale: AS NOTED

**D.110**





JC DIVERSION CENTER  
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DEMOLITION - INTERIOR  
PHOTOS

Scale: AS NOTED

D.111

|  |  |  |    |  |    |   |   |
|--|--|--|----|--|----|---|---|
|  |  |  | 12 |  | 8  |   | 4 |
|  |  |  |    |  |    |   |   |
|  |  |  | 11 |  | 7  |   | 3 |
|  |  |  | 14 |  | 10 |   | 6 |
|  |  |  |    |  |    | <div>MODIFIED DEMOLITION SCOPE OF WORK<br/>Mold Remediation demolition scope has been modified, so Demolition required by GC has been reduced. Listed below are items allocated to remediation vs Renovation GC.<br/>Sheet note on D.101, D.110, D.111, D.121 and D.125 revised.<br/><br/>Mold Remediation Demolition scope of work (Not in Contract)<br/>a) All Interior Doors from hinges down will be removed.<br/>b) All exterior doors and frames will be cleaned wiped down, no demolition.<br/>c) All CMU wall and interior dry wall with mold will be wiped down, no demolition.<br/>d) All types of ceilings in POD 200 and 400 and all ceiling mounted lighting fixtures to be demolished.<br/>e) Raised floor, steps, walls, windows, ceiling grid and ceiling tiles at Control Room to be demolished.<br/>f) Existing mechanical ductwork and existing smoke purge system to be demolished.<br/><br/>Renovation GC Demolition scope of work (in Contract)<br/>a) All Interior Door Frames to be demolished as shown in the drawings.<br/>b) All exterior doors and frames to be demolished as shown in the drawings.<br/>c) All CMU wall and interior dry wall to be demolished as shown in drawings.<br/>d) Existing ductwork removal by remediation contractor may leave holes in the wall of the mechanical room/mezzanine floor or other spaces that needs to be patched and repaired.<br/>e) Exterior soffit at entry canopy and exterior walls to be demolished as show in the drawings.<br/>f) Existing roof patching at railed locations to be repaired and patched as noted in the drawings.</div> | 2 |
|  |  |  | 13 |  | 9  |   | 5 |
|  |  |  |    |  |    | <div>NOTES:<br/>1. REFER TO DEMOLITION PLANS FOR MORE INFORMATION.</div>  | 1 |
|  |  |  |    |  |    |   |   |



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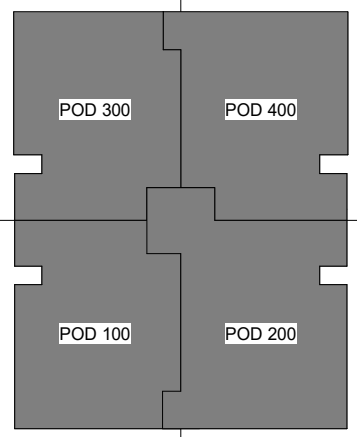
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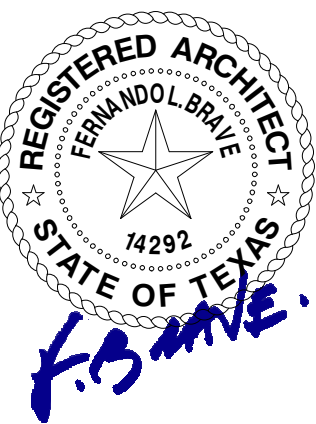
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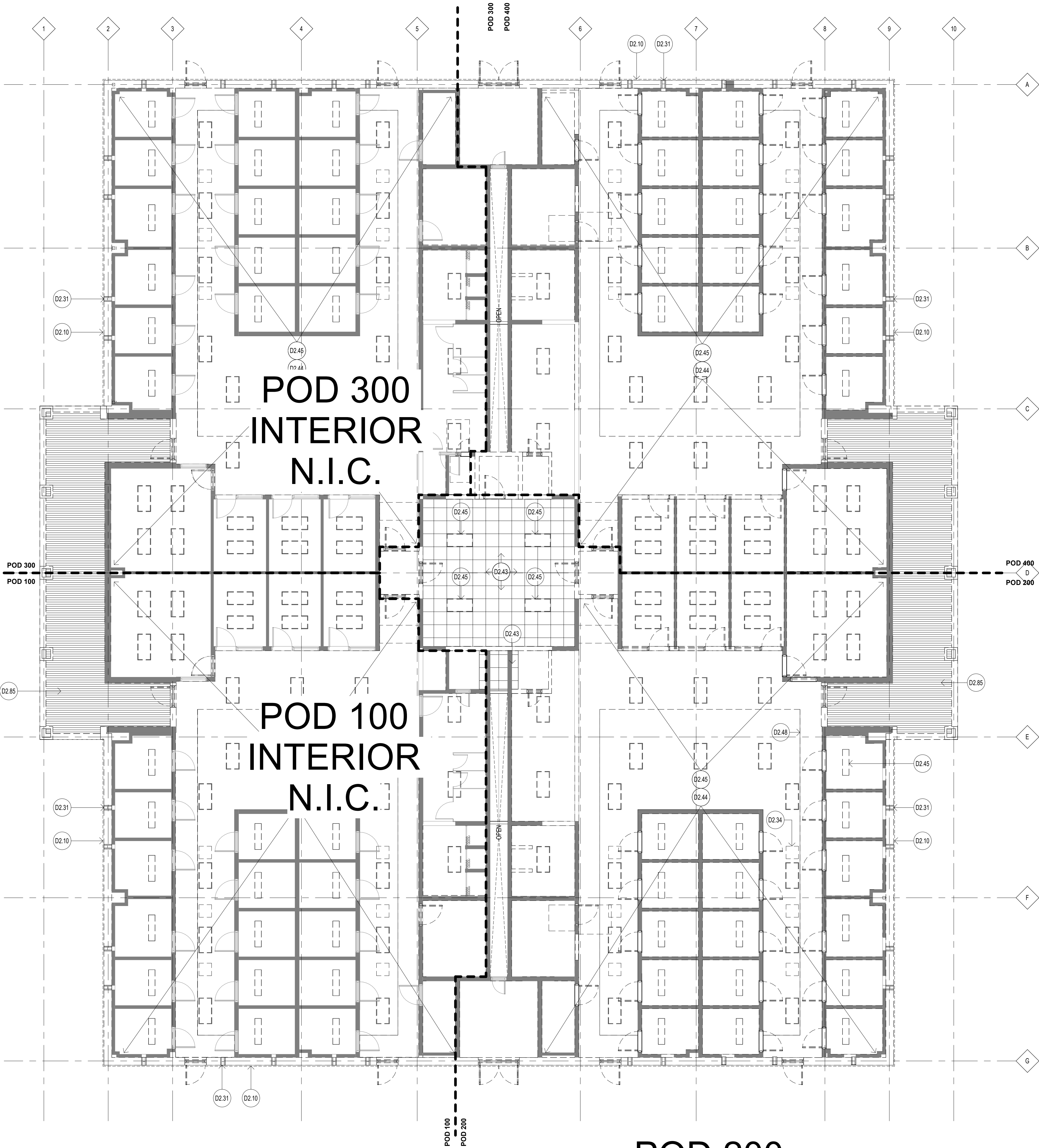
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DEMOLITION - OVERALL  
REFLECTED CEILING PLAN

Scale: AS NOTED

D.121

POD 400



POD 200

- D2.10 Remove metal wall panels and metal stud walls, structure to remain  
D2.31 Remove window and frame, prepare for new windows. refer to floor plans for opening size  
D2.34 Remove, protect, prepare for replacement tubular daylighting device  
D2.43 Replace damaged ceiling tiles to match existing  
D2.44 Remove gypsum board ceiling and support system  
D2.45 Remove light fixture  
D2.48 Remove fur-out to structure  
D2.85 Remove metal soffit and sides. Patch and prepare surface for new construction

KEYNOTES

2

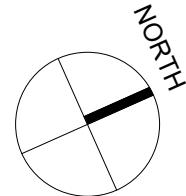
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**Renovation GC Demolition scope of work (in Contract)**

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f) Existing roof patching at rutted locations to be repaired and patched as noted in the drawings.





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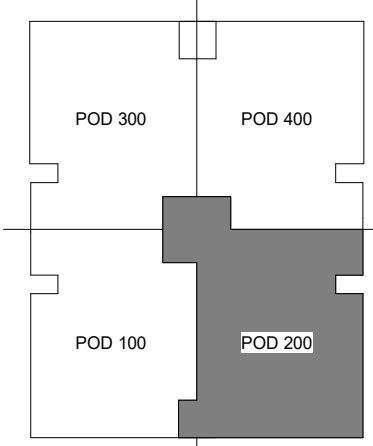
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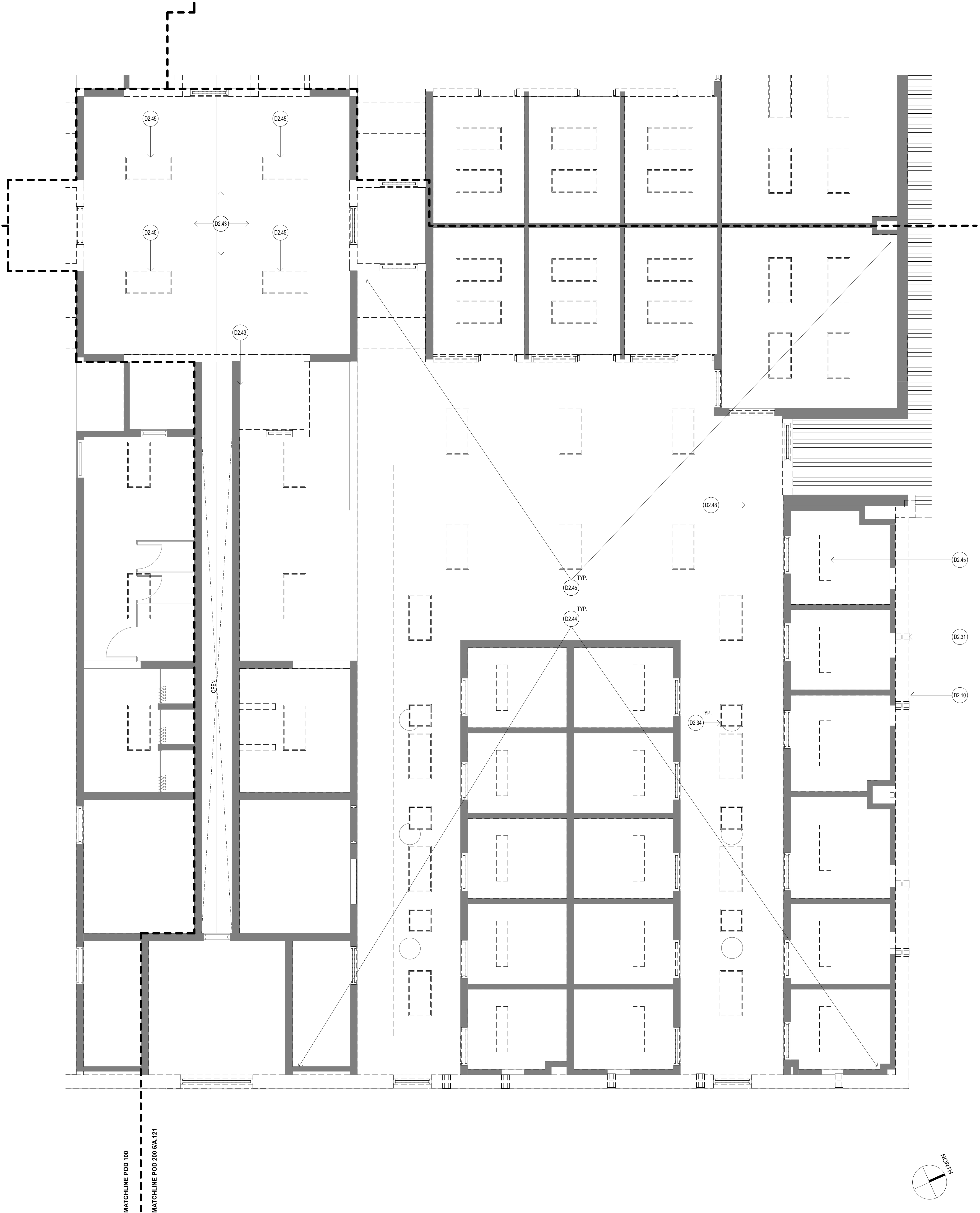


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DEMOLITION - ENLARGED  
REFLECTED CEILING POD  
200

Scale: AS NOTED

D.125



- D2.10 Remove metal wall panels and metal stud walls, structure to remain  
D2.31 Remove window and frame, prepare for new windows. refer to floor plans for opening size  
D2.34 Remove, protect, prepare for replacement tubular daylighting device  
D2.43 Replace damaged ceiling tiles to match existing  
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D2.45 Remove light fixture  
D2.48 Remove fur-out to structure

KEYNOTES

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k) Exterior soffit at entry canopy and exterior walls to be demolished as show in the drawings.  
l) Existing roof patching at rutted locations to be repaired and patched as noted in the drawings.

- NOTES:  
1. TYPICAL DEMOLITION NOTES AT ALL PODS. U.N.O.

LEGEND

OVERALL DEMOLITION REFLECTED CEILING PLAN

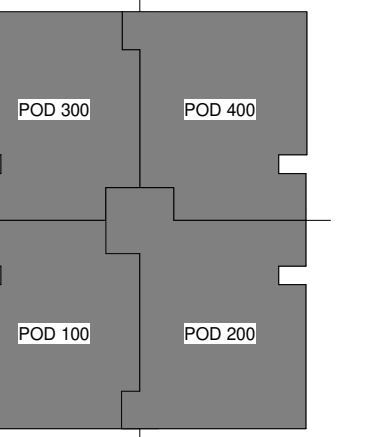
1/4" = 1'-0"

5

LEGEND

1





POD 400

POD 300  
INTERIOR  
N.I.C.

POD 100  
INTERIOR  
N.I.C.

POD 200

ROOF DRAIN NOTE:  
1. ADD CONCRETE SPLASH BLOCK AT EVERY ROOF DRAIN.  
LOCATION TO BE ALIGNED WITH ROOF DRAIN NOZZLE. RE: ROOF  
PLAN FOR QUANTITY AND LOCATION

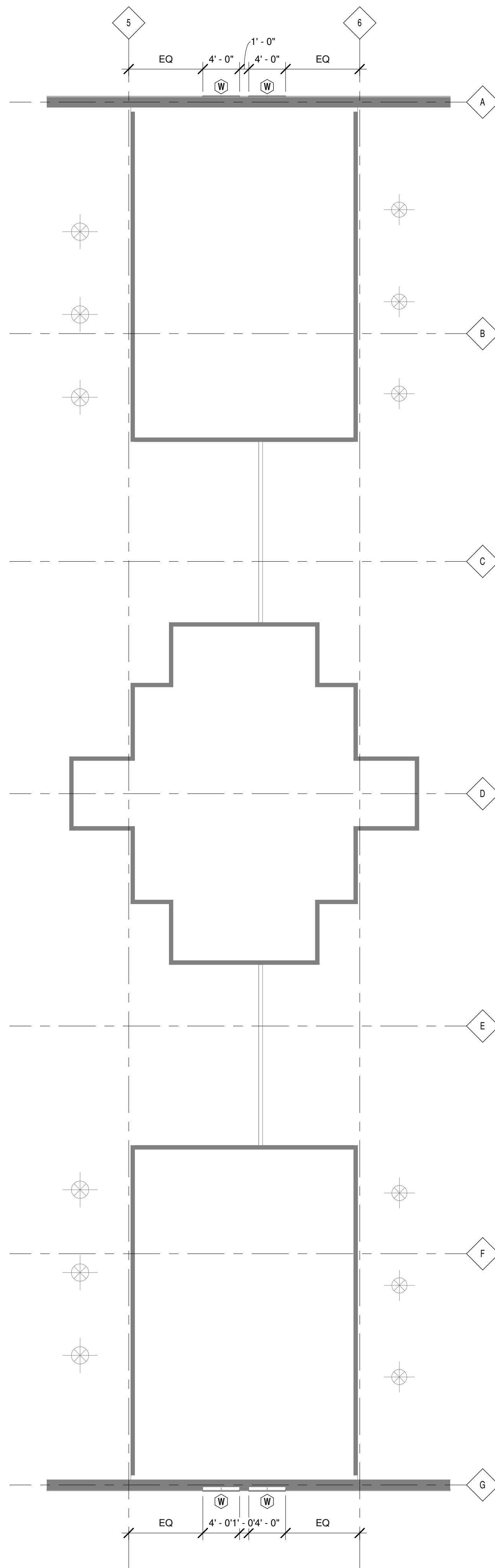
NOTES:  
THE FOLLOWING INSULATION VALUES TO BE USED PER IRC TABLE C402.1.3  
ROOFS:  
ABOVE DECK: R-50  
METAL BUILDINGS: R-19 + R-11 LS  
WALLS ABOVE GRADE:  
METAL BUILDING: R-13 + R-6.5d  
METAL FRAMED: R-13 + R-5d

KEYNOTES 2

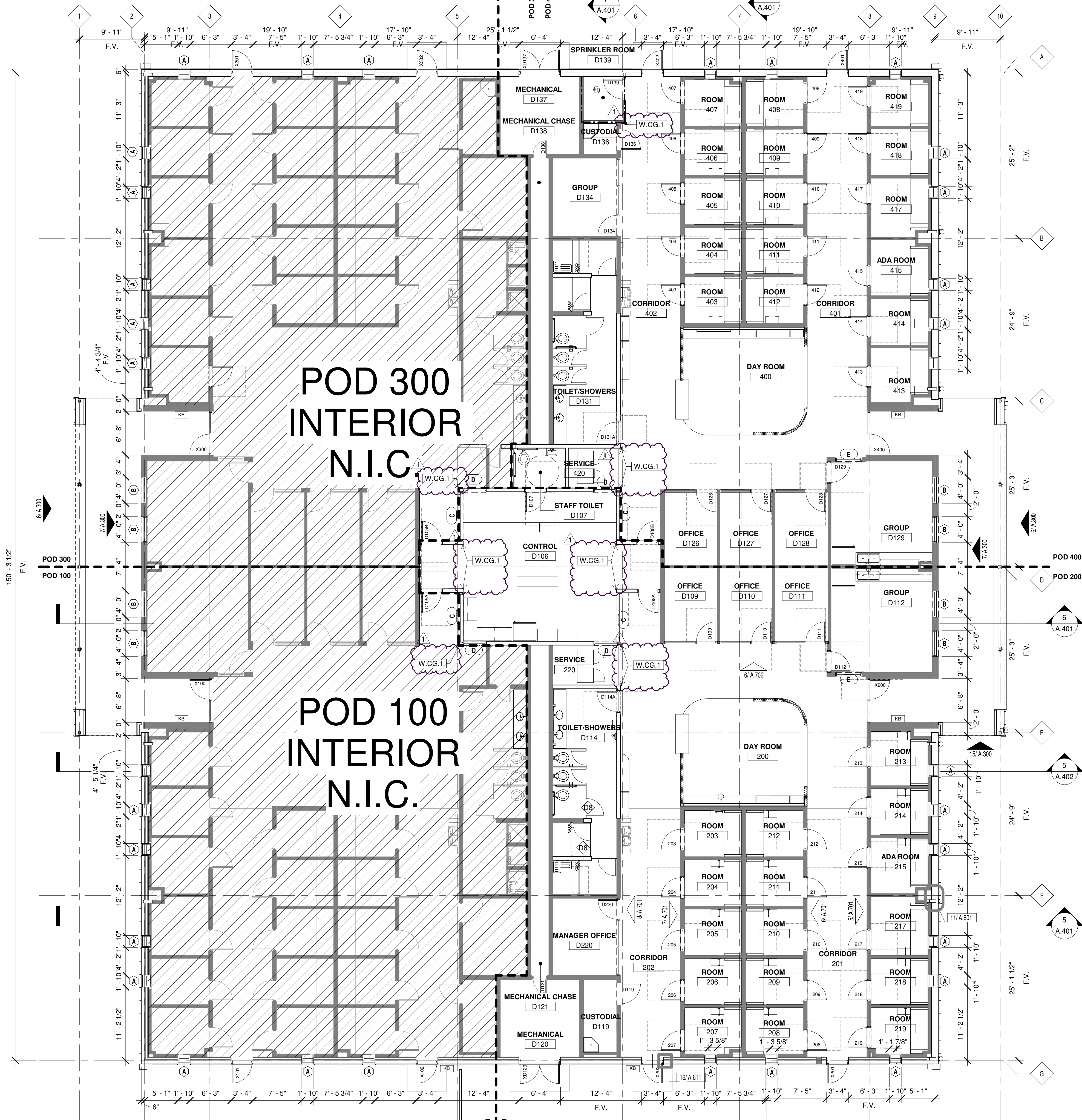
- NOT IN SCOPE
- EXISTING WALLS
- NEW CONSTRUCTION
- MATCH LINES

NOTES:  
1. EXTERIOR WORK INCLUDES NEW WALL CONSTRUCTION, NEW WALL METAL PANELS, NEW RECOVERY ROOFING SYSTEM, NEW WINDOWS AND NEW EXTERIOR DOORS OF THE ENTIRE BUILDING.  
2. INTERIOR BUILDING OUT INCLUDES UPGRADING INTERIOR WALL AND FINISHES OF POD 200 AND POD 400 INCLUDING CONTROL ROOM, ALL MECHANICAL SPACES AND MEZZANINE FLOOR.  
3. SPRINKLER HEAD INSTALLATION AND RELATED WORK INCLUDED FOR ENTIRE BUILDING. PHASE I INCLUDES EXTERIOR  
4. REFERENCE A.110 FOR TYPICAL NEW CONSTRUCTION NOTES, U.N.O.  
5. ALL DIMENSIONS TO BE FIELD VERIFIED

LEGEND 1



MECHANICAL MEZZANINE 1/8" = 1'-0" 17



OVERALL FIRST FLOOR PLAN 1/8" = 1'-0" 5



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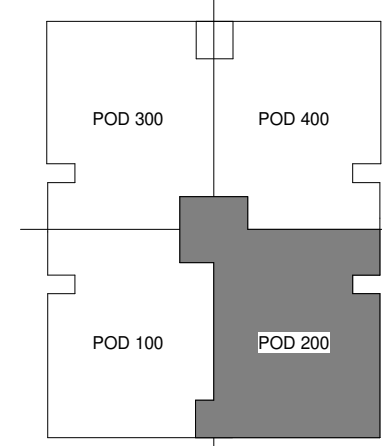
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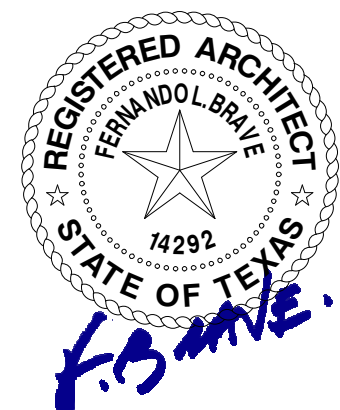
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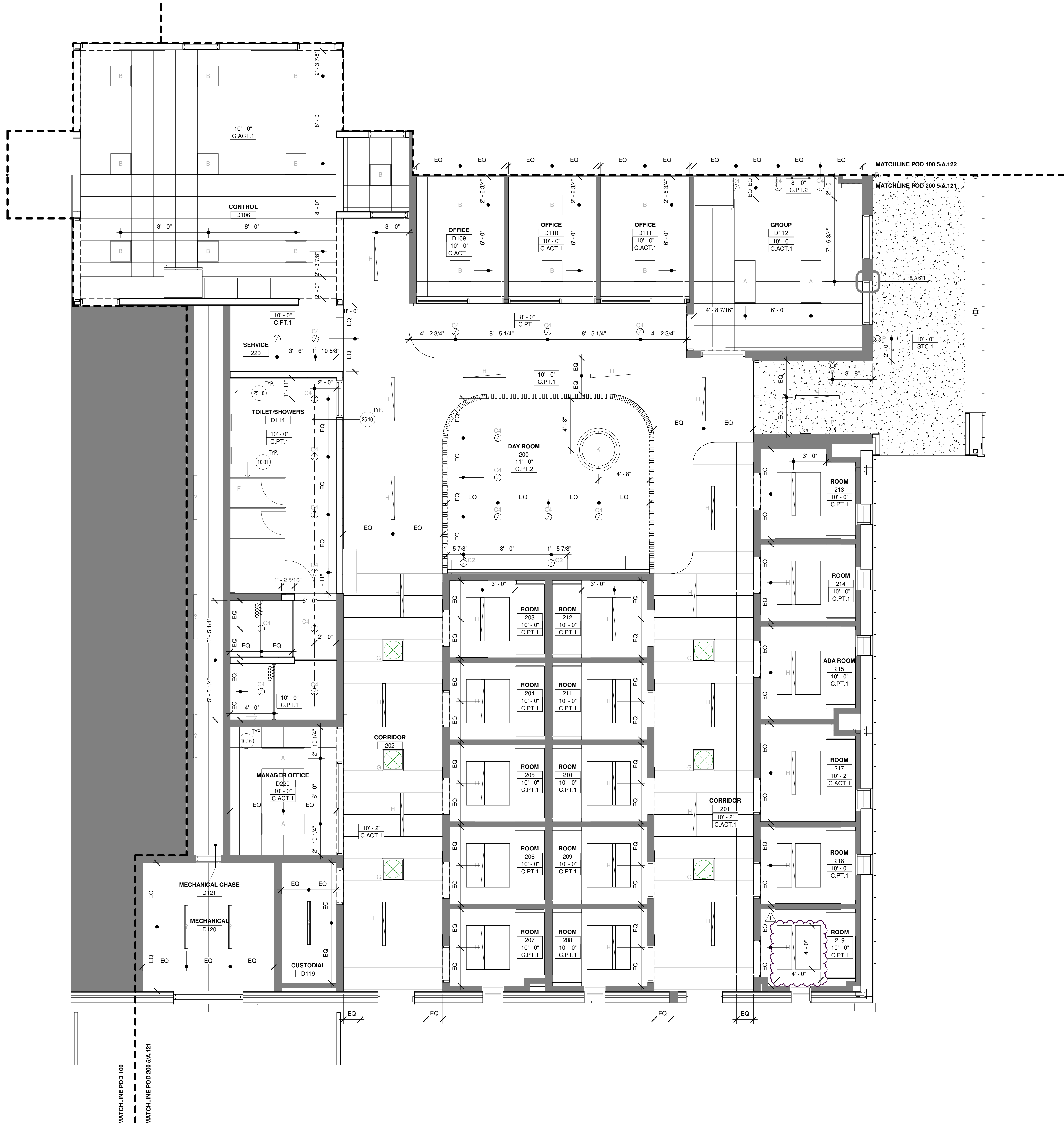
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ENLARGED REFLECTED  
CEILING PLAN - POD 200

Scale: AS NOTED

A.121



- GYPSUM BOARD CEILING; RE: FINISH SCHEDULE
- 2X2 LAY-IN ACOUSTICAL TILE SUSPENDED CEILING SYSTEM; RE: FINISH SCHEDULE
- TYPE A - 2X4 FLUORESCENT LIGHT FIXTURE; RE: ELECTRICAL
- TYPE B - 2X2 FLUORESCENT LIGHT FIXTURE; RE: ELECTRICAL
- TYPE C2 - RECESSED CAN LIGHT FIXTURE; RE: ELECTRICAL
- TYPE C4 - RECESSED CAN LIGHT FIXTURE; RE: ELECTRICAL
- TYPE D - RECESSED LINEAR LIGHT FIXTURE; RE: ELECTRICAL
- TYPE E - READING LIGHT FIXTURE; SEE FLOOR PLAN FOR LOCATION; RE: ELECTRICAL
- TYPE F - RECESSED LINEAR COVE LIGHT FIXTURE; RE: ELECTRICAL
- TYPE G - TUBULAR DAYLIGHTING DEVICE FIXTURE; RE: ELECTRICAL
- TYPE H - EXTERIOR WALL SCONCE LIGHT FIXTURE; RE: ELECTRICAL
- TYPE K - ACOUSTICAL PENDANT LIGHT FIXTURE; RE: ELECTRICAL
- TYPE P - OUTDOOR WALL SCONCE LIGHT FIXTURE; RE: ELECTRICAL
- TYPE Q - OUTDOOR LINEAR LIGHT FIXTURE; RE: ELECTRICAL
- TYPE R - OUTDOOR POLE LIGHT FIXTURE. SEE SITE PLAN FOR LOCATION; RE: ELECTRICAL

LEGEND

- 10.01 Toilet partition(s); re: Accessory schedule
- 10.16 Shower rod curtain & hooks; re: Accessory schedule
- 25.10 Scheduled light fixture re: Electrical

- ENLARGED PLAN NOTES:
- POD - 200 AS SHOWN
  - POD - 400 IDENTICAL TO POD 200 UNO.

- NOTES:
- TYPICAL NEW CONSTRUCTION NOTES, U.N.O.



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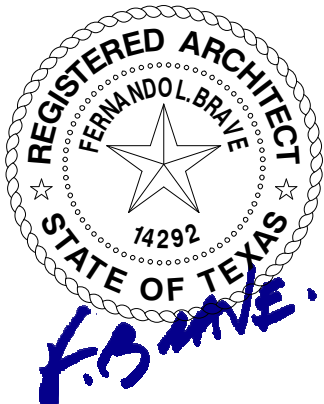
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FINISH SCHEDULE

Scale: AS NOTED

A.150

| FINISH MARK | ITEM         | MANUFACTURER      | MANUFACTURER NUMBER | MANUFACTURER NAME   | FINISH       | COMMENTS   |
|-------------|--------------|-------------------|---------------------|---------------------|--------------|--|
| MP.1        | METAL PANEL  | MORIN             |                     | VARIES              | BONE WHITE   | MORIN PANELS MATRIX-3, MATRIX-4, AND MATRIX-10 TO BE USED. SEE 41A.301 FOR PATTERN |
| MP.2        | METAL PANEL  | MCELROY METAL     |                     | Z88-T               | CHARCOAL     | Z88T WALL SYSTEM TO BE APPLIED TO ROOF AND WALLS. 24" WIDE PANELS                  |
| MP.3        | METAL PANEL  | MCELROY METAL     |                     | VISIONLINE F-SERIES | SURFEN BEIGE |  |
| STC.1       | STUCCO       |                   |                     |                     | SMOOTH       | 3 LAYER PORTLAND CEMENT PLASTER, PAINTED. COLOR TO BE SELECTED BY ARCHITECT        |
| PT.1        | KYNAR FINISH |                   |                     |                     | SMOOTH       | COLUMN COVER - COLOR TO BE SELECTED BY ARCHITECT                                   |
| PT.2        | PAINT        | SHERWIN WILLIAMS  |                     |                     |              | ACCENT PAINT   |
| WD.1        | IPE WOOD     | US LUMBER BROKERS |                     |                     |              | 1 X 6 IPE PLANKS, STAIN GRADE. GC TO PROVIDE 3 STAIN SAMPLES                       |

FINISH SCHEDULE - EXTERIOR

8

| FINISH MARK | ITEM                               | MANUFACTURER     | MANUFACTURER NUMBER | MANUFACTURER NAME     | FINISH               | COMMENTS   |
|-------------|------------------------------------|------------------|---------------------|-----------------------|----------------------|--|
| FLOOR       |                                    |                  |                     |                       |                      |  |
| F.EP.1      | EPOXY FLOOR                        | -                | -                   | -                     | -                    | TOILET SHOWER ROOMS  |
| F.CONC.1    | SEALED CONCRETE                    | -                | -                   | -                     | -                    | ALL FLOORS TO BE F.CONC.1 U.N.O.   |
| F.LVT.1     | LUXURY VINYL TILE                  | TARKETT          | 0978                | CONTOUR               | WOVEN REED SILKSTRAW | CORRIDORS/GROUP ROOMS/CONTROLROOM  |
| F.LVT.2     | LUXURY VINYL TILE                  | TARKETT          | C127                | COLOR POP             | BERMUDA              | DAYROOM 200  |
| F.LVT.3     | LUXURY VINYL TILE                  | TARKETT          | C177                | COLOR POP             | SUNBEAM              | DAYROOM 400  |
| F.SV.1      | SHEET VINYL                        | TARKETT          | 0296                | ID GRANIT             | WARM GREY            | SLEEPING UNITS   |
| BASE        |                                    |                  |                     |                       |                      |  |
| B.RB.1      | RUBBER BASE                        | TARKETT          | TS825               | JOHNSONITE            | PAWN                 | 4" RUBBER BASE   |
| B.SV.1      | SHEET VINYL                        | TARKETT          | 0296                | ID GRANIT             | WARM GREY            | SCAFFOLDING  |
| B.EP.1      | EPOXY BASE                         |                  |                     |                       |                      |  |
| WALL        |                                    |                  |                     |                       |                      |  |
| W.PT.1      | PAINT 1                            | SHERWIN WILLIAMS | SW7757              | HIGH REFLECTIVE WHITE | SEMI GLOSS           | ALL WALLS TO BE W.PT.1 U.N.O.  |
| W.PT.2      | ACCENT PAINT                       | SHERWIN WILLIAMS | SW6759              | COOLED BLUE           | SEMI GLOSS           | POD 200  |
| W.PT.3      | ACCENT PAINT                       | SHERWIN WILLIAMS | SW9019              | GOLDEN FLUMERIA       | SEMI GLOSS           | POD 400  |
| W.WD.1      | WOOD SLAT WALL                     | SLAT SOLUTIONS   |                     | SLAT BOARD DRYER      | MAPLE                |  |
| W.CT.1      | CERAMIC TILE 4" X 10"              | EMSER            |                     | CATCH GLOSSY          | ICE GLOSSY           | TILE AT RESTROOMS, UP TO 8' AFF  |
| W.CG.1      | CERAMIC TILE 4" X 10"              | EMSER            |                     | CATCH GLOSSY          | ICE GLOSSY           | SLEEPING UNITS   |
| W.CG.1      | CERAMIC TILE 4" X 10"              | EMSER            |                     | CATCH GLOSSY          | ICE GLOSSY           | SLEEPING UNITS   |
| W.CG.1      | CERAMIC TILE 4" X 10"              | EMSER            |                     | CATCH GLOSSY          | ICE GLOSSY           | SLEEPING UNITS   |
| CEILING     |                                    |                  |                     |                       |                      |  |
| C.ACT.1     | 2' X 2' MINERAL WOOL CEILING TILES | ROCKFON          | SUN                 | ALASKA                | WHITE                |  |
| C.PT.1      | PAINT 1                            | SHERWIN WILLIAMS | SW7757              | HIGH REFLECTIVE WHITE | SEMI GLOSS           | ALL CEILINGS TO BE C.PT.1 U.N.O.   |
| C.PT.2      | ACCENT PAINT                       | SHERWIN WILLIAMS | SW6759              | COOLED BLUE           | SEMI GLOSS           | POD 200  |
| C.PT.3      | ACCENT PAINT                       | SHERWIN WILLIAMS | SW9019              | GOLDEN FLUMERIA       | SEMI GLOSS           | POD 400  |
| MILLWORK    |                                    |                  |                     |                       |                      |  |
| M.PL.1      | PLASTIC LAMINATE 1                 | WILSONART        | 7987-38             | PALISADES OAK         | FINE VELVET          | CABINET, SHELVING, AND DRAWER INTERIORS  |
| M.PL.2      | MELAMINE                           | FORMICA          | 459-58              | BRITE WHITE           | MATTE FINISH         |  |
| M.QZ.1      | QUARTZ                             | COSENTINO        |                     | SILESTONE             | ET STATUARIO         | ALL COUNTERTOPS  |
| MISC.       |                                    |                  |                     |                       |                      |  |
| FT.1        | FELT ACOUSTICAL PANEL              | ACOUFELT         | PE20                | PEACOCK               | SOLID, 12MM          | TYP. IN POD 200, GC TO INSTALL WITH REQUIRED MOUNTING ACCESSORIES AS NEEDED FOR CEILING AND WALL MOUNTING AS PER MANUFACTURERS RECOMMENDATIONS |
| FT.2        | FELT ACOUSTICAL PANEL              | ACOUFELT         | BU07                | BUTTER                | SOLID, 12MM          | TYP. IN POD 400, GC TO INSTALL WITH REQUIRED MOUNTING ACCESSORIES AS NEEDED FOR CEILING AND WALL MOUNTING AS PER MANUFACTURERS RECOMMENDATIONS |

FINISH SCHEDULE - INTERIOR

6

| TAG   | ITEM                           | MANUFACTURER | DESCRIPTION   | MODEL          | FINISH                  | COMMENTS                               |
|-------|--------------------------------|--------------|---|----------------|-------------------------|--|
| TA-1  | TOILET PARTITIONS              | BOBRICK      | STANDARD PRIVACY - FLOOR TO CEILING                               |                |                         | TOILET ENCLOSURES AND ENTRANCE SCREENS |
| TA-2  | 36" GRAB BAR                   | BOBRICK      | 1 1/2" DIAMETER GRAB BAR W/ SNAP FLANGE & PEENED GRIPPING SURFACE | B-6806.99 X 36 | STAINLESS STEEL SATIN   |  |
| TA-3  | 42" GRAB BAR                   | BOBRICK      | 1 1/2" DIAMETER GRAB BAR W/ SNAP FLANGE & PEENED GRIPPING SURFACE | B-6806.99 X 42 | STAINLESS STEEL SATIN   |  |
| TA-4  | TOILET PAPER TISSUE DISPENSERS | TORK         | DOUBLE-ROLL TOILET TISSUE DISPENSER                               | H-1347         | SMOKE                   |  |
| TA-5  | SANITARY WIPKIN DISPOSAL       | BOBRICK      | CONTURA SERIES SANITARY WIPKIN DISPOSAL                           | B-670          | STAINLESS STEEL SATIN   |  |
| TA-6  | MIRROR                         | BOBRICK      | FRAMED STAINLESS STEEL CHANNEL MIRROR                             | B-165          | STAINLESS STEEL SATIN   |  |
| TA-7  | HAND DRYER                     | EXCEL DRYER  | XLERATOR HAND DRYER   | XL-S8          | BRUSHED STAINLESS STEEL |  |
| TA-8  | COAT HOOK                      | BOBRICK      | ROBE HOOK (DOUBLE)  | B-6727         | STAINLESS STEEL SATIN   |  |
| TA-9  | SOAP DISPENSER                 | ECOLAB       | SURFACE MOUNTED SOAP DISPENSER                                    | EL-5021192     | BLACK                   |  |
| TA-10 | TRASH RECEPTACLE               | BOBRICK      | SURFACE MOUNTED WASTE RECEPTACLE                                  | B-35440        | STAINLESS STEEL SATIN   |  |
| TA-11 | CURTAIN ROD                    | BOBRICK      | CLASSIC SERIES EXTRA-HEAVY-DUTY SHOWER CURTAIN ROD                | B-6107 X 36    | BOBRICK SATIN           |  |
| TA-12 | SHOWER SEAT                    | BOBRICK      | REVERSIBLE FOLDING SHOWER SEAT                                    | B-5181         | STAINLESS STEEL         |  |

TOILET ACCESSORY SCHEDULE

5

LEGEND

1

|    |  |
|----|--|
| 1. | TYPICAL NEW CONSTRUCTION NOTES, U.N.O.   |
| 2. | REFERENCE A.150 FOR SPECIFIC POD FINISHES.<br>POD 200: F.LVT.2, W.PT.2, C.PT.2, AND FT.1<br>POD 400: F.LVT.3, W.PT.3, C.PT.3, AND FT.2 |
| 3. | GC TO REFERENCE A.130 FOR MOUNTING HEIGHTS   |



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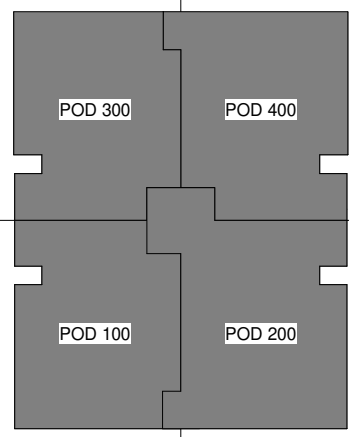
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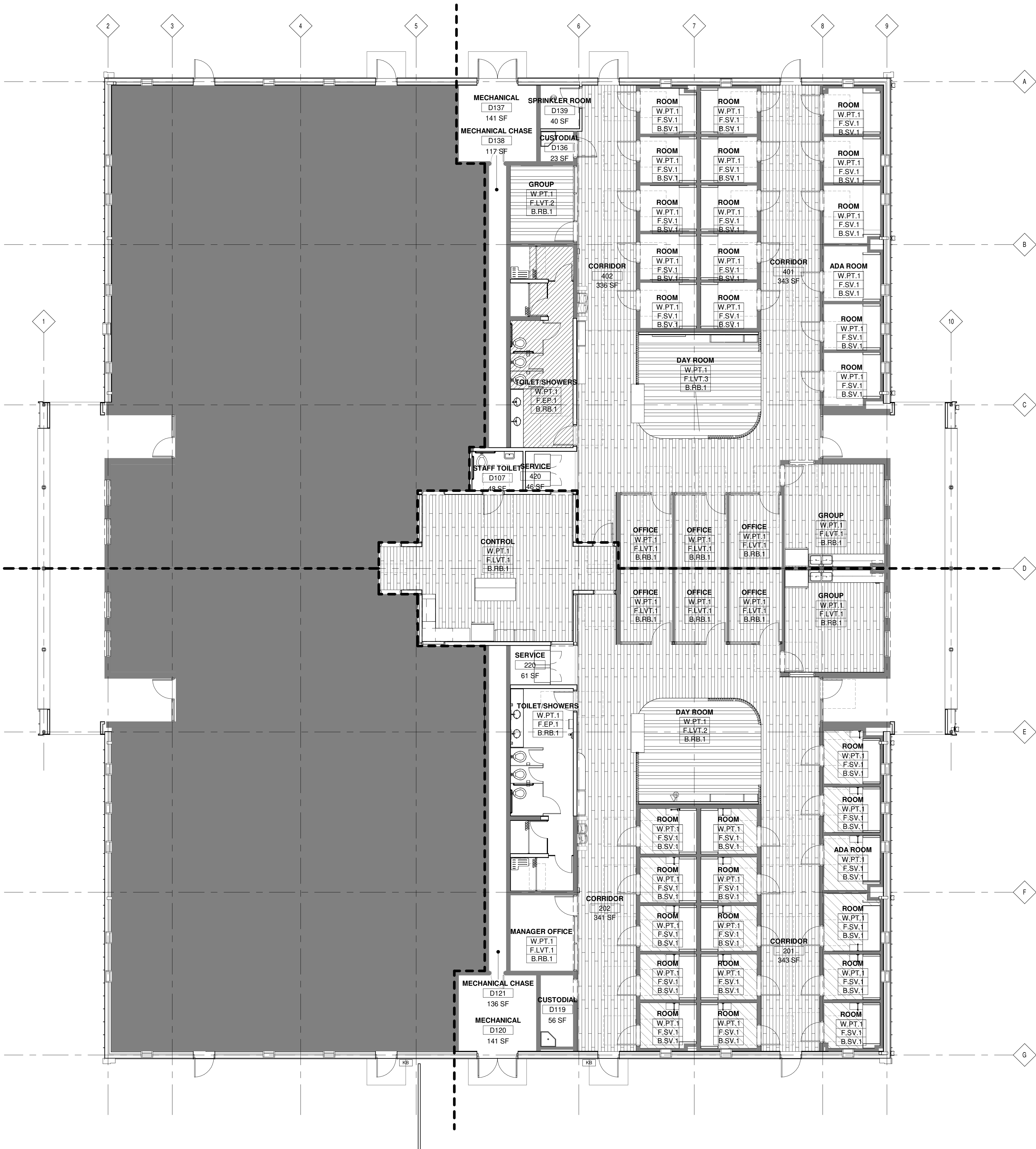
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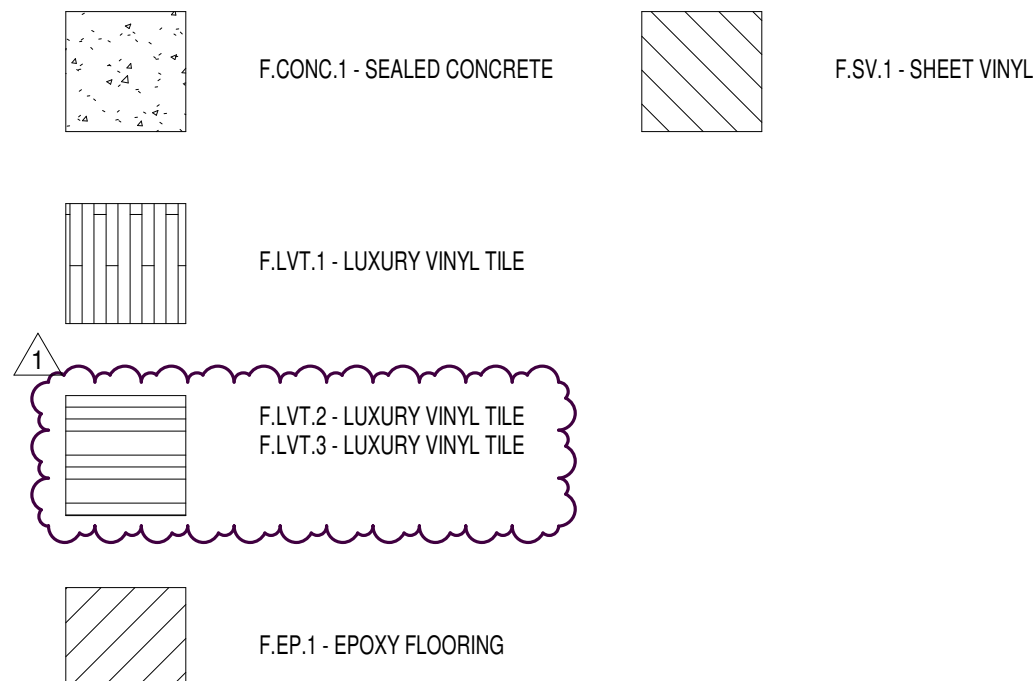
OVERALL FINISH PLAN

Scale: AS NOTED

**A.151**



KEYNOTES



NOTES:  
1. TYPICAL NEW CONSTRUCTION NOTES U.N.O.  
2. REFERENCE A.150 FOR SPECIFIC POD FINISHES.  
POD 200: F.LVT.2, W.P.T.2, C.P.T.2, AND FT.1  
POD 400: F.LVT.3, W.P.T.3, C.P.T.3, AND FT.2

LEGEND

OVERALL FINISH PLAN

1/8" = 1'-0"

5

LEGEND

1



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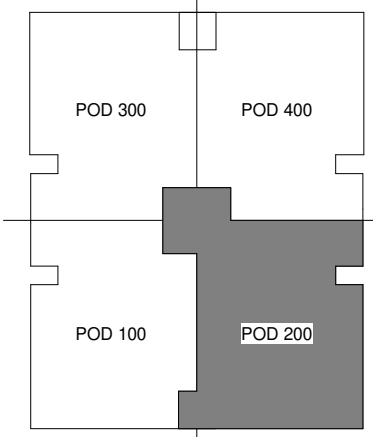
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ENLARGED FINISH PLAN -  
POD 200

Scale: AS NOTED

**A.152**



ENLARGED FINISH PLAN - POD B

1/4" = 1'-0"

5

LEGEND

1

KEYNOTES

2

- F.CONC.1 - SEALED CONCRETE
- F.SV.1 - SHEET VINYL
- F.LVT.1 - LUXURY VINYL TILE
- F.LVT.2 - LUXURY VINYL TILE  
F.LVT.3 - LUXURY VINYL TILE
- F.EP.1 - EPOXY FLOORING

- NOTES:
1. TYPICAL NEW CONSTRUCTION NOTES U.N.O.  
2. REFERENCE A.150 FOR SPECIFIC POD FINISHES.  
POD 200: F.LVT.2, W.PT.2, C.PT.2, AND FT.1  
POD 400: F.LVT.3, W.PT.3, C.PT.3, AND FT.2



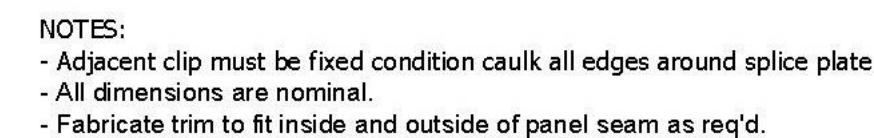
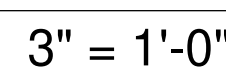
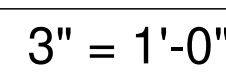
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# A.201



---

3" = 1'-0"

1



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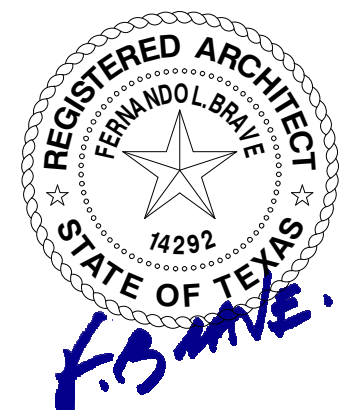
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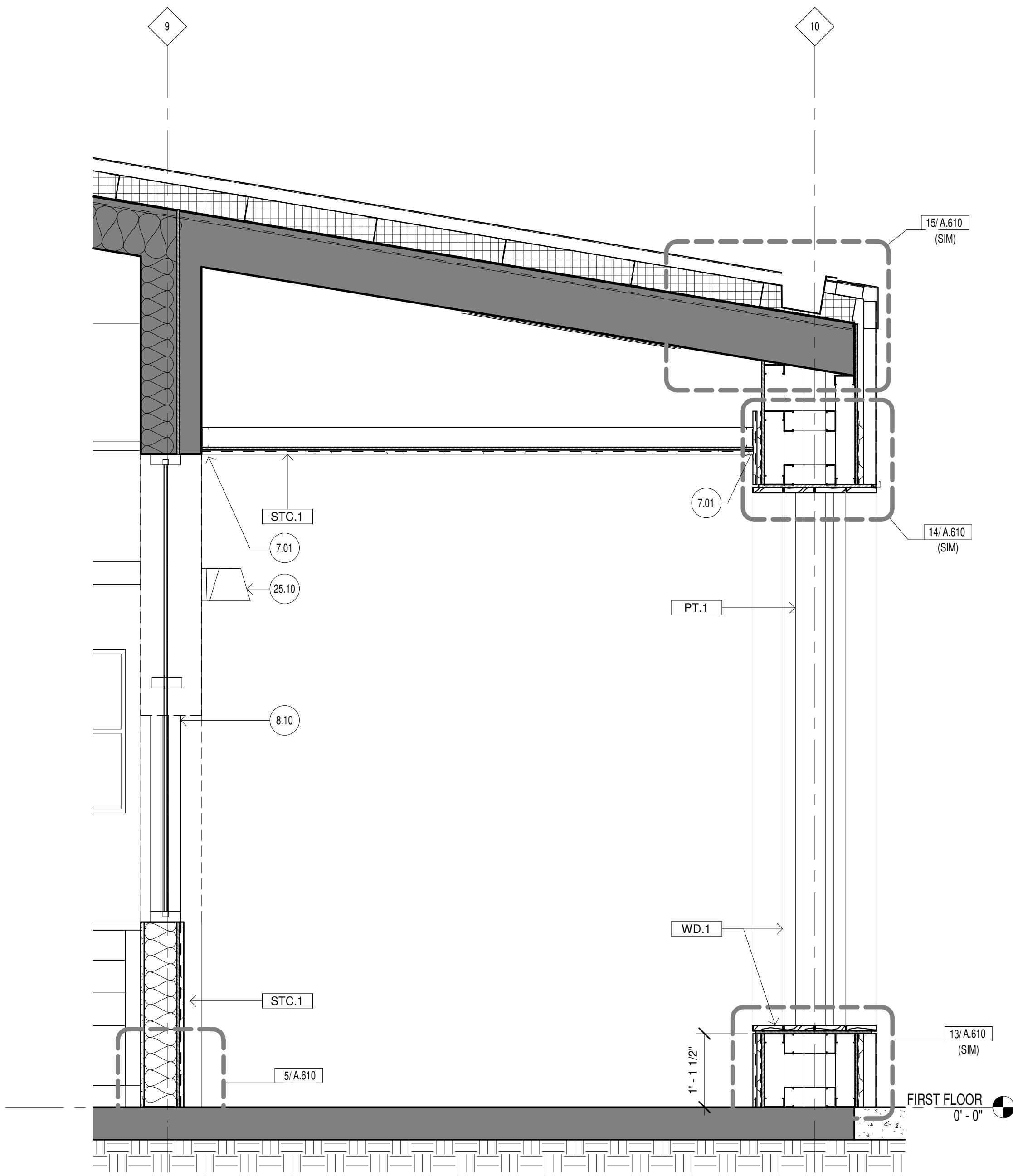
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EXTERIOR WALL SECTIONS

Scale: AS NOTED

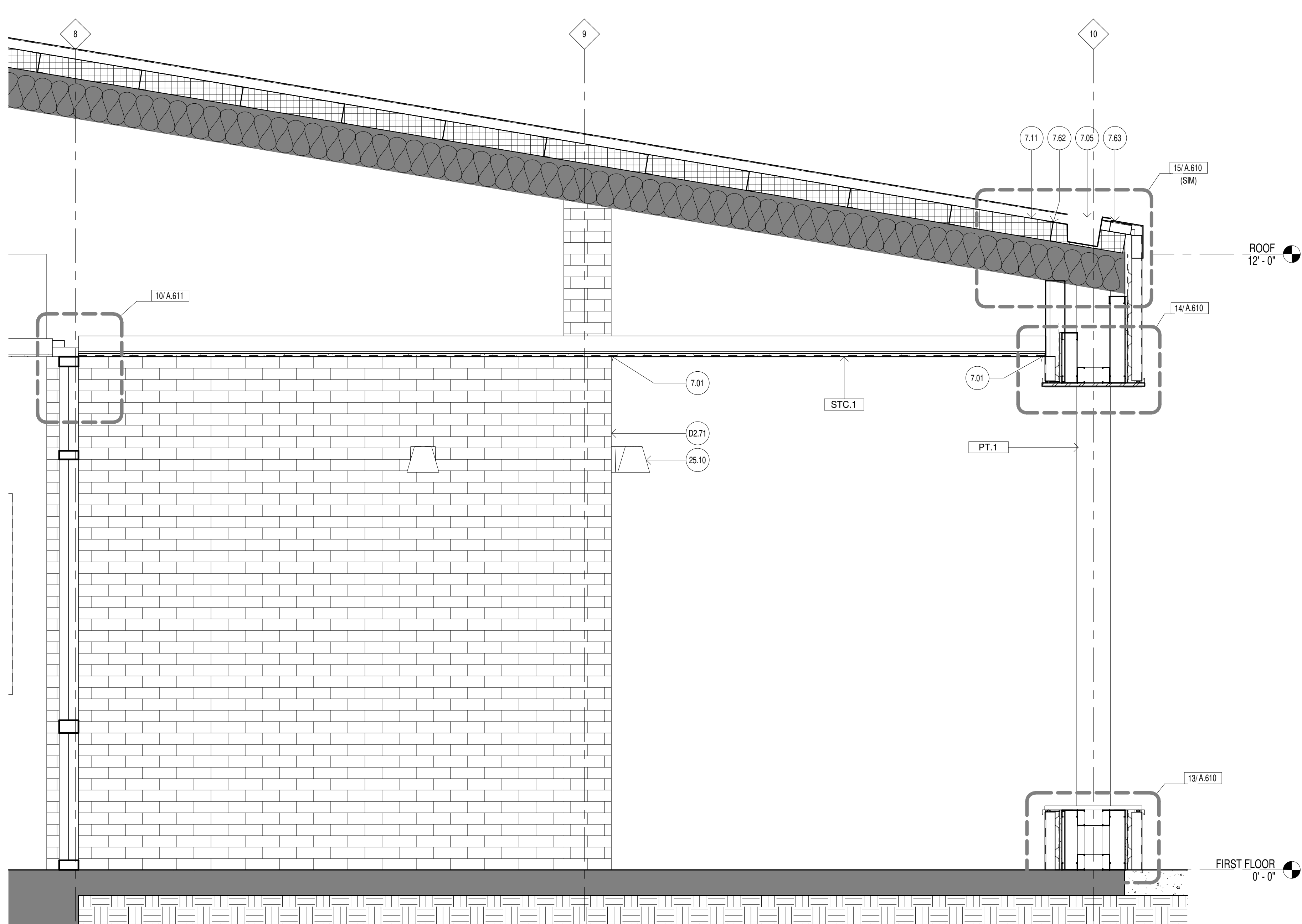
**A.502**



WALL SECTION TYP - ENTRY CANOPY

3/4" = 1'-0"

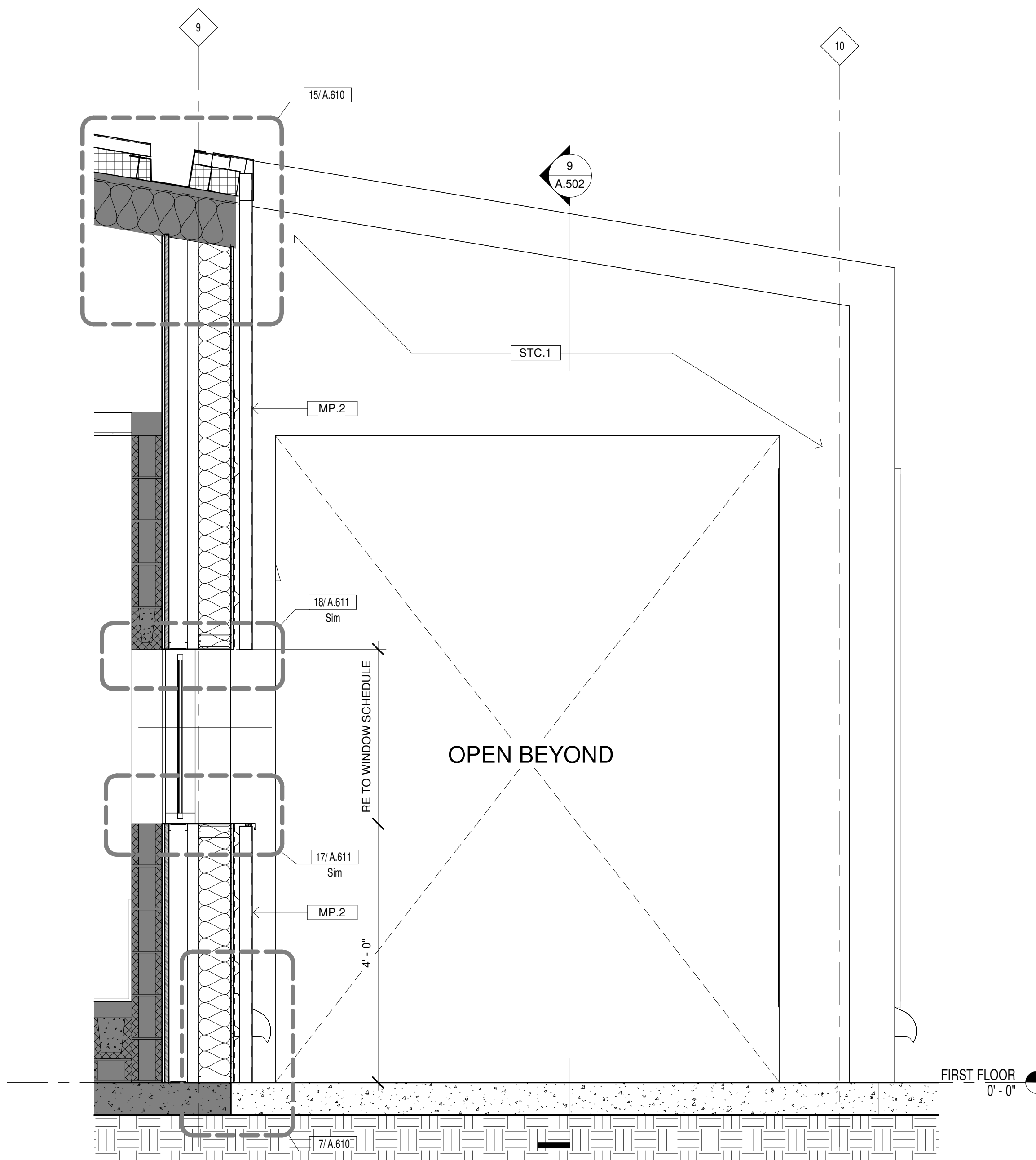
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WALL SECTION TYP - ENTRY PORCH

3/4" = 1'-0"

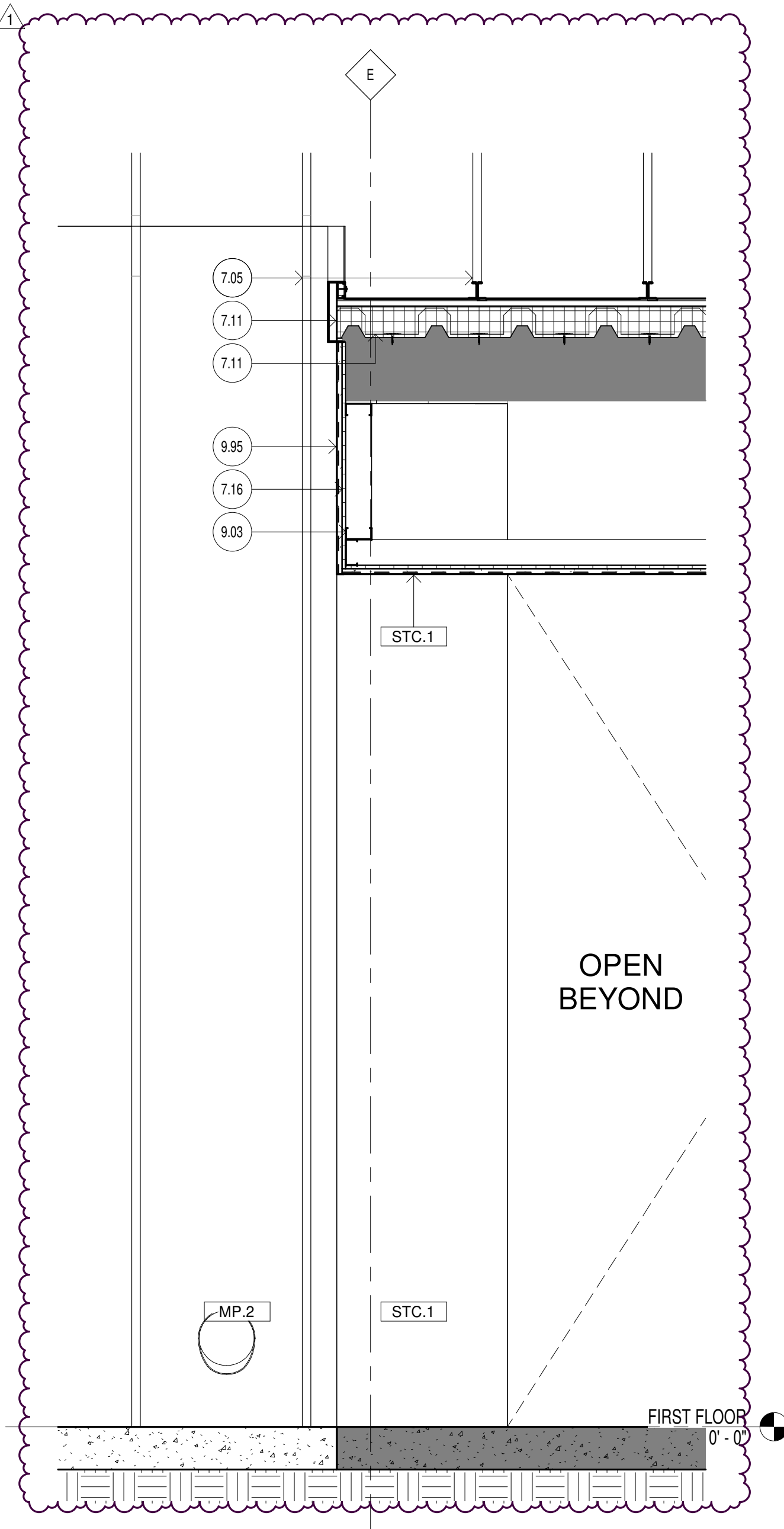
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WALL SECTION TYP EAST-WEST

3/4" = 1'-0"

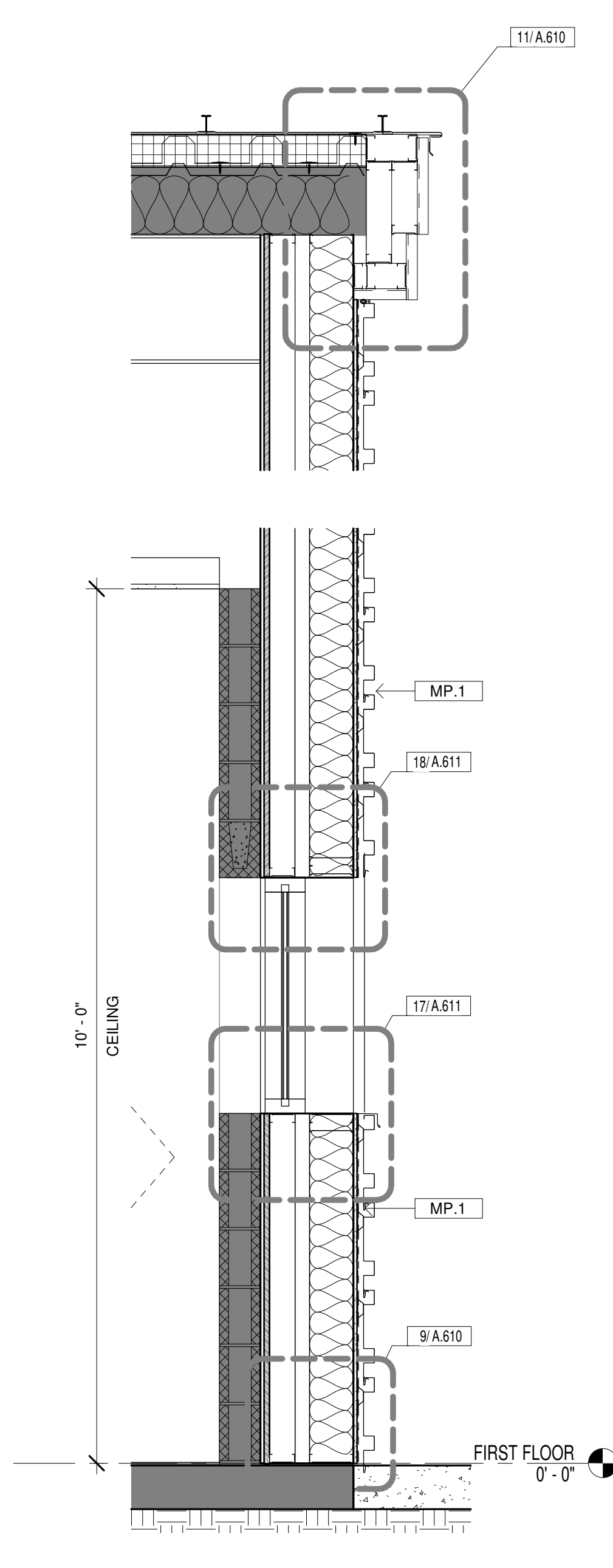
11



WALL SECTION THRU ENTRY CANOPY

3/4" = 1'-0"

9



WALL SECTION TYP NORTH-SOUTH

3/4" = 1'-0"

5

- 7.01 Provide soffit vent with required trim accessory.  
7.05 Standing seam metal roof on polyisocyanurate insulation board  
7.11 Rigid board insulation, re: Specifications  
7.16 1/2" Densglass sheathing  
7.62 Roof hanger subframe  
7.63 Standing seam knee/wb cover  
8.10 Scheduled window, re: Window schedule  
9.03 3-5/8" metal studs at 16" O.C. Maximum  
9.05 Scheduled stucco wall, re: Finish schedule  
9.09 Scheduled light fixture re: Electrical  
D2.71 Existing wall to remain

KEYNOTES

2

NOTES:  
THE FOLLOWING INSULATION VALUES TO BE USED PER IBC TABLE C402.1.3  
ROOFS:  
ABOVE DECK: R-25ci  
METAL BUILDINGS: R-19 + R-11 LS  
WALLS, ABOVE GRADE:  
METAL BUILDING: R-13 + R-4.5ci  
METAL FRAMED: R-13 + R-5ci

LEGEND

1



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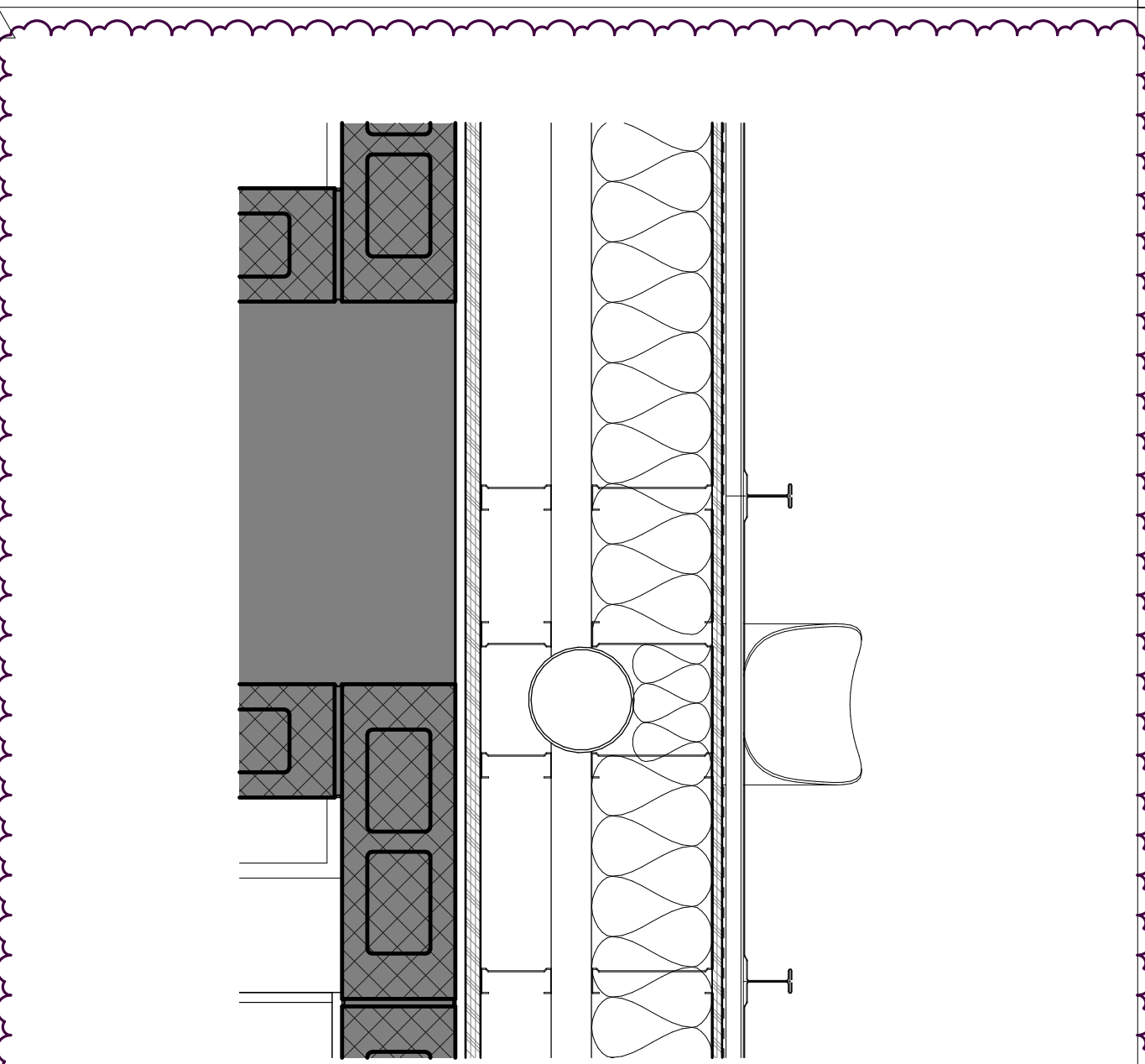
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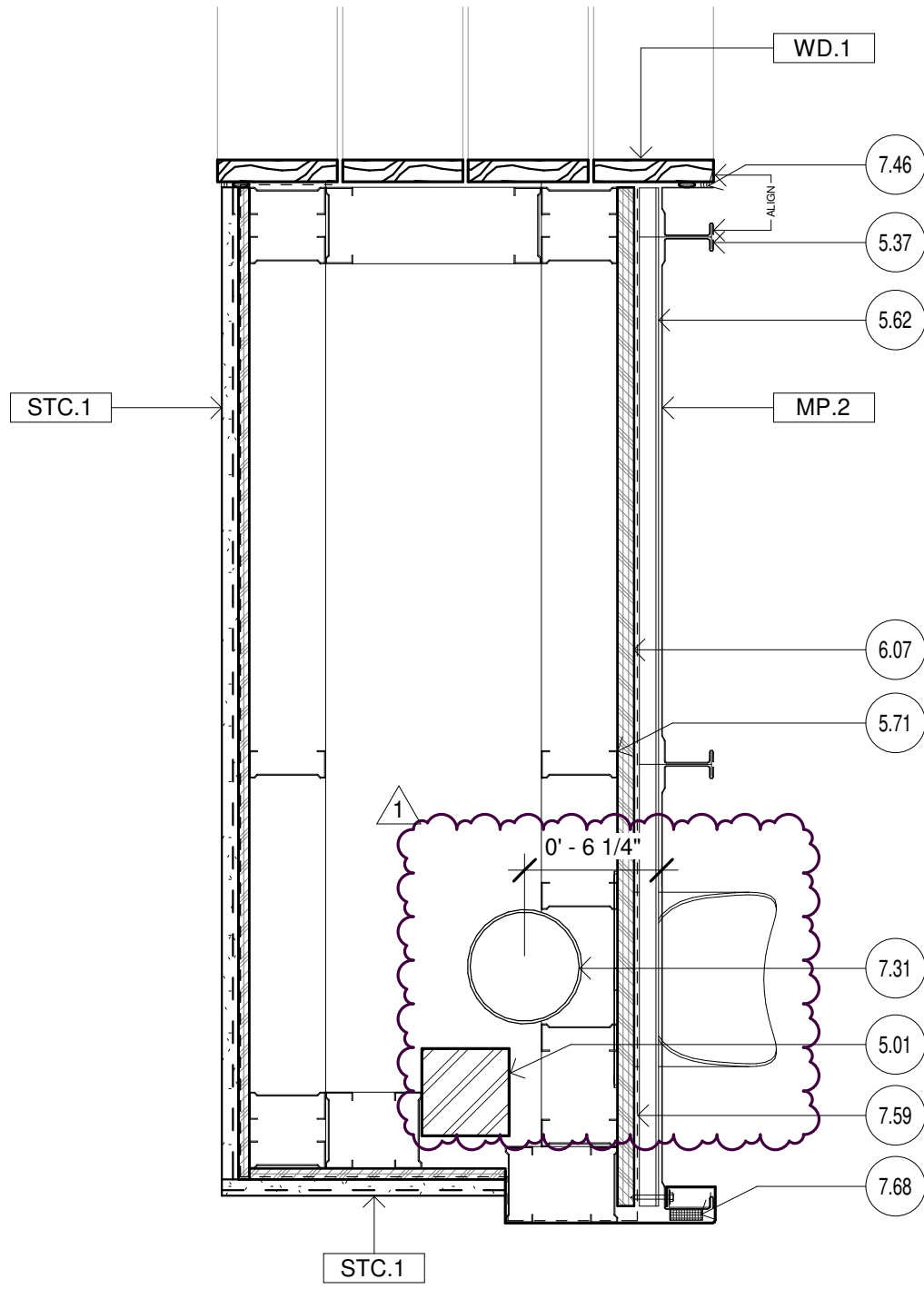
PLAN DETAILS

Scale: AS NOTED

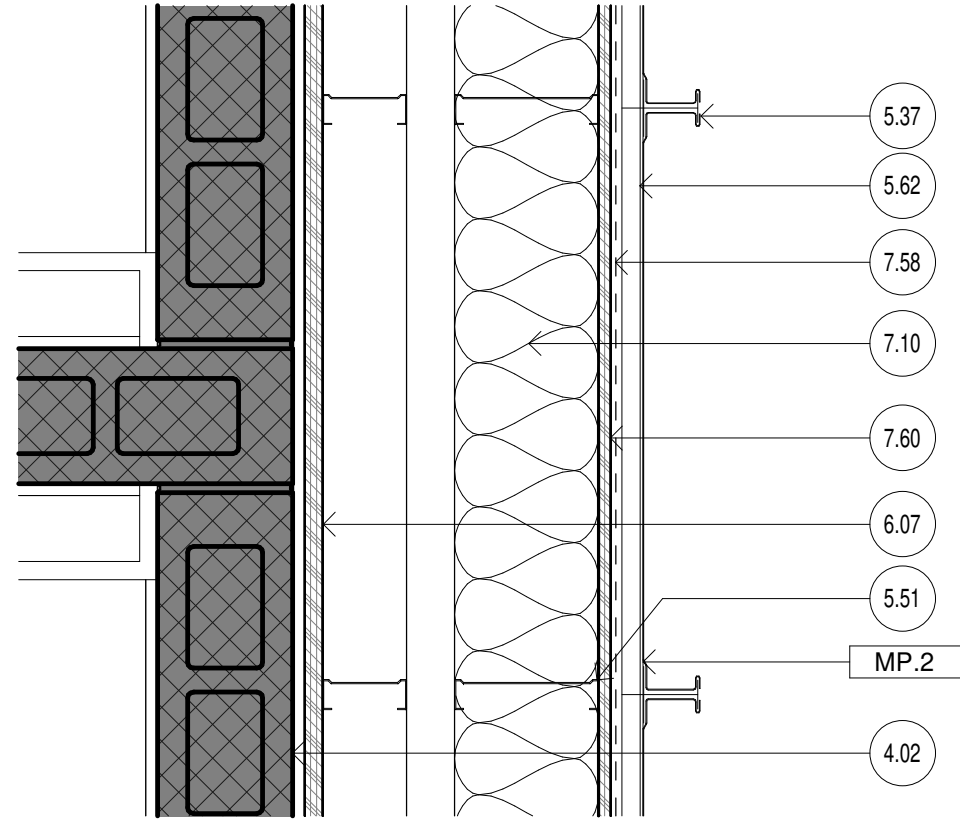
A.601



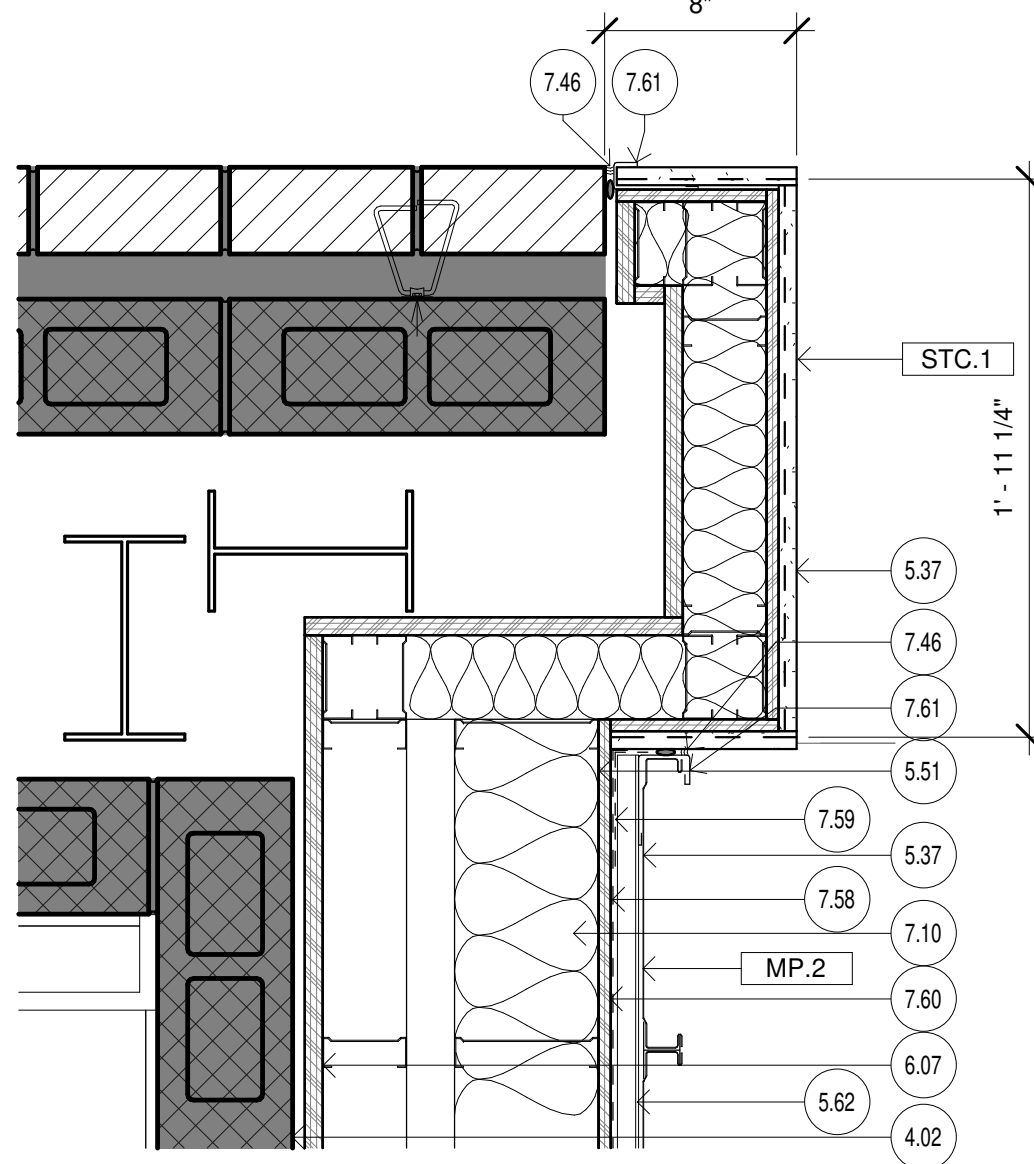
DOWNSPOUT PLAN DETAIL 1 1/2" = 1'-0" 11



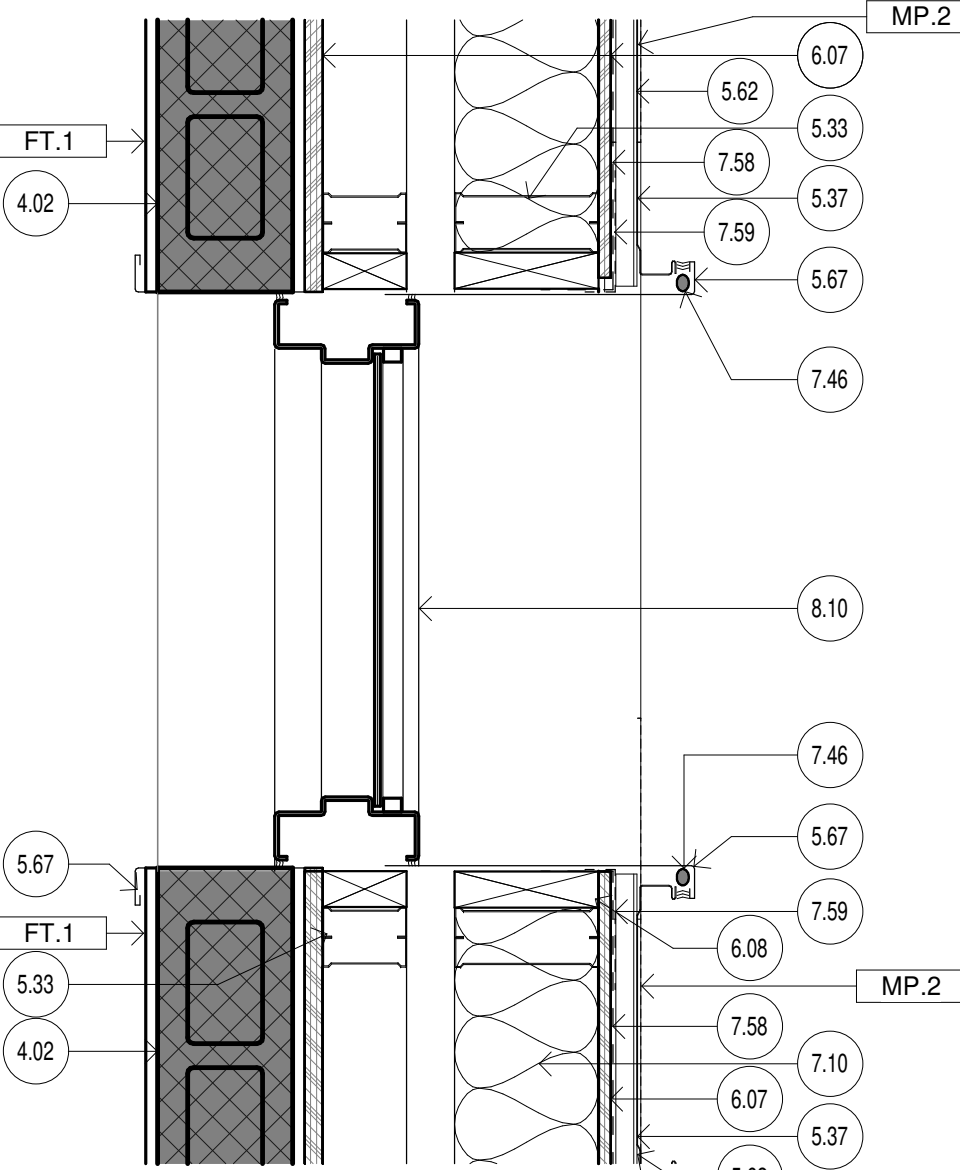
COLUMN COVER @ FRONT CANOPY 1 1/2" = 1'-0" 9



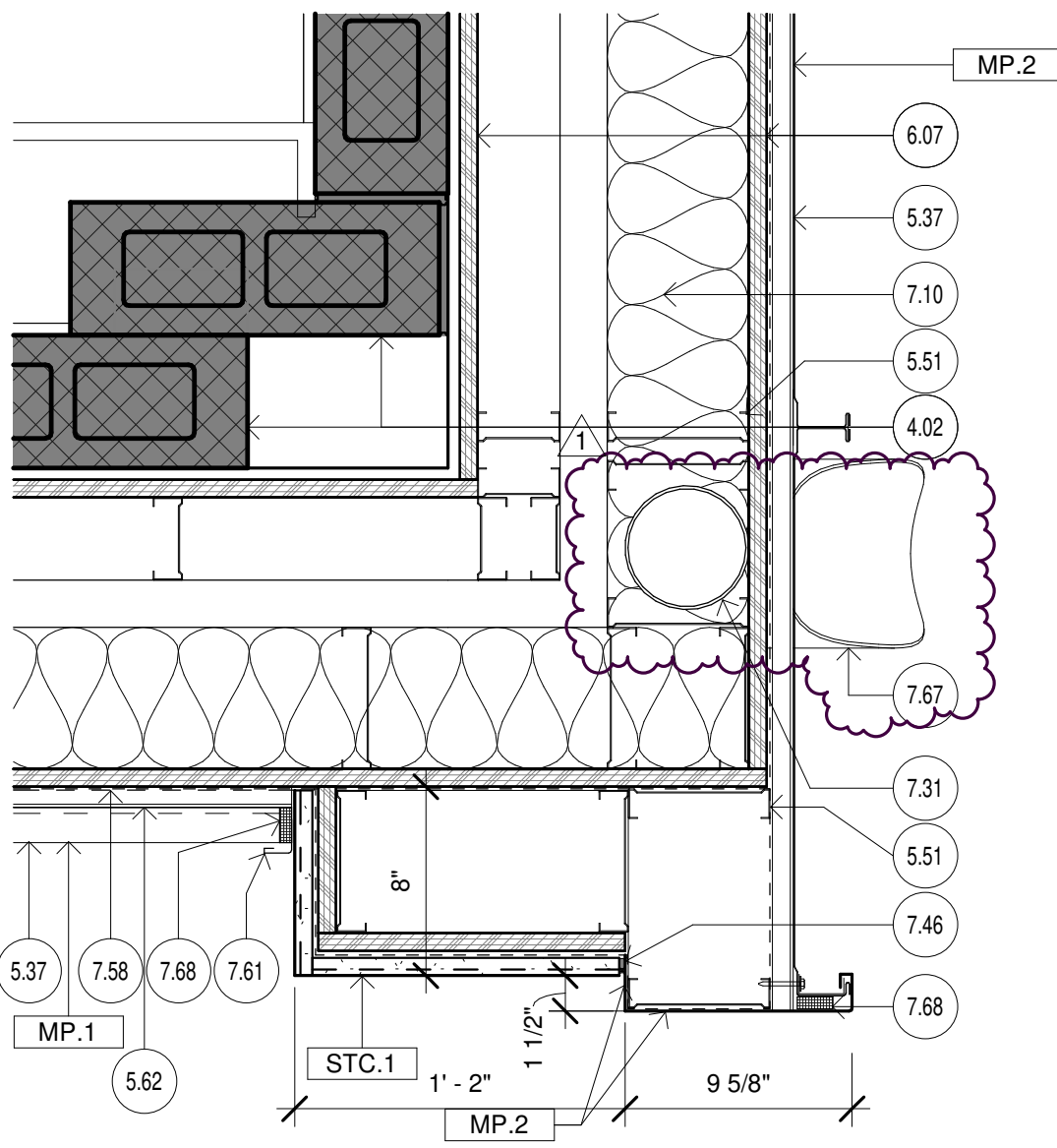
METAL PANEL @ BRICK FACADE 1 1/2" = 1'-0" 8



METAL PANEL @ BRICK CORNER 1 1/2" = 1'-0" 7



METAL PANEL @ WINDOW 1 1/2" = 1'-0" 6



EXTERIOR CORNER DETAIL 1 1/2" = 1'-0" 5

- 4.02 6" thick standard CMU, re: Finish schedule  
5.01 Steel column, re: Structural  
5.33 Double studs at all exterior door and window jambs, full height  
5.37 New metal panel on existing structure, re: Finish Schedule  
5.51 6" galvanized CPMF, re: Structural  
5.62 7/8" Hat channel  
5.67 Prefinished break metal to match adjacent hollow metal frame  
5.71 3 1/2" metal stud  
6.07 Plywood sheathing  
6.08 Treated wood blocking as required  
7.10 Batt insulation; depth of insulation to match depth of wall stud, unless noted otherwise  
7.31 Metal downspout boot to connect to splash block  
7.46 Backer rod and sealant  
7.58 Fluid applied air and water barrier  
7.59 Self-adhered air and water barrier  
7.60 1/2" Gypsum sheathing  
7.61 J-Trim  
7.67 Bird screen for nickel-bronze downspout nozzle  
7.68 Outside foam closure  
8.10 Scheduled window, re: Window schedule

KEYNOTES

NOTES:  
THE FOLLOWING INSULATION VALUES TO BE USED PER IRC TABLE C402.1.3  
ROOFS:  
ABOVE DECK: R-25ci  
METAL BUILDINGS: R-19 + R-11 LS  
WALLS, ABOVE GRADE:  
METAL BUILDING: R13 + R-6.5ci  
METAL FRAMED: R-13 + R-5ci

LEGEND



JC DIVERSION CENTER  
RENOVATION

3890 FM3514, BEAUMONT, TX 77705

B/A Project No.: 23141

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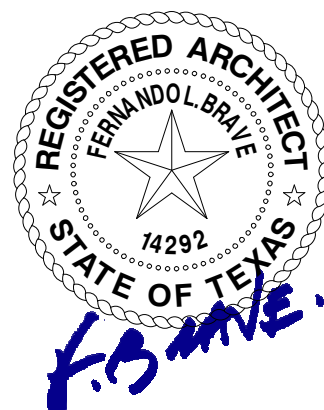
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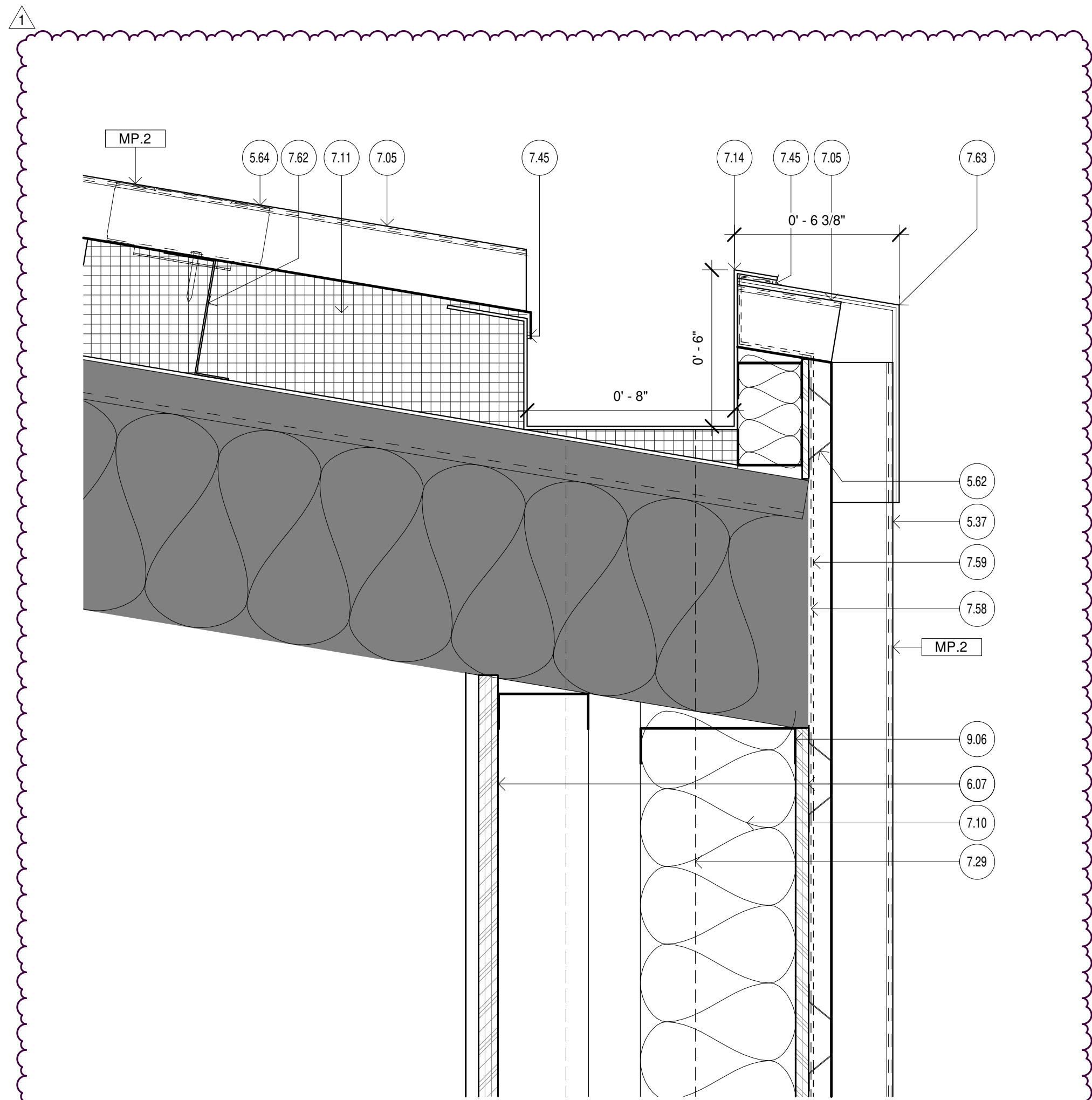
10/30/2024

FILE:  
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ISSUE:  
06/14/2024 DESIGN DEVELOPMENT  
08/23/2024 90% CONSTRUCTION  
DOCUMENTS  
09/23/2024 100% CONSTRUCTION  
DOCUMENTS  
1 11/01/2024 ADDENDUM # 01

SECTION DETAILS

Scale: AS NOTED

**A.610**



NOTE: PROVIDE HOOK STRIP OR CLEAT FOR PANEL MOVEMENT.  
PROVIDE STAINLESS STEEL GUTTER LINED AND LIQUID APPLIED  
REINFORCED PMMA WATER PROOFING MEMBRANE AT ALL  
GUTTERS. TYP.

GUTTER DETAIL TYP.

3" = 1'-0"

15

METAL PANEL FASCIA TYP.

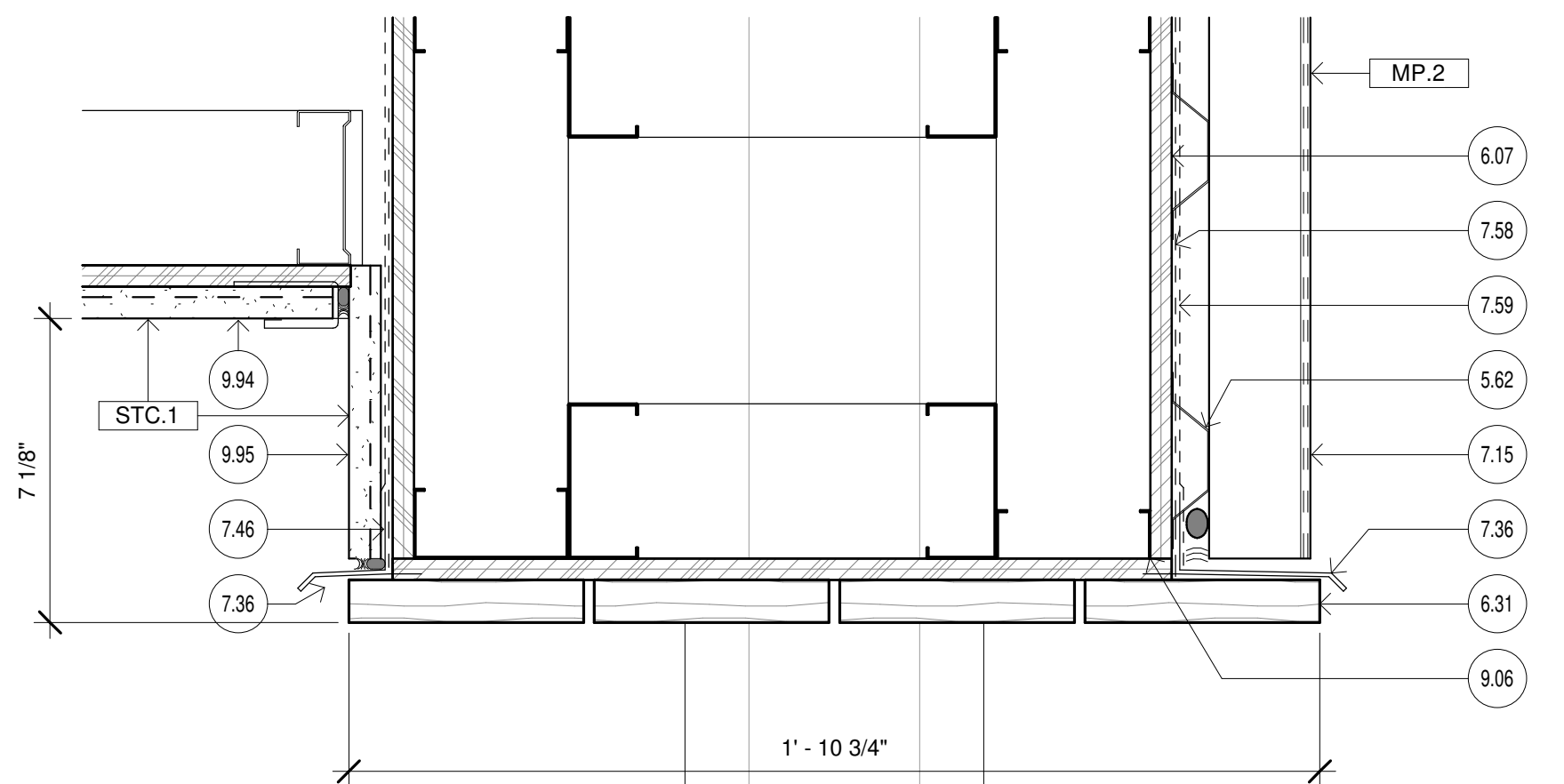
3" = 1'-0"

11

DETAIL @ DOWNSPOUT

3" = 1'-0"

7



ENTRY CANOPY OPENING - HEADER

3" = 1'-0"

14

FIXED RIDGE ROOF DETAIL

3" = 1'-0"

6

KEYNOTES

2

ROOF NOTES  
1. PROVIDE HOOK STRIP OR CLEAT FOR PANEL MOVEMENT AS NECESSARY.  
2. PROVIDE STAINLESS STEEL GUTTER LINER AND A LIQUID APPLIED REINFORCED PMMA  
WATER PROOFING MEMBRANE INSIDE THE GUTTERS TO PREVENT LEAKS IN FUTURE.

NOTES:  
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METAL BUILDINGS: R-19 + R-11 LS  
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METAL BUILDING: R13 + R-6.5ci  
METAL FRAMED: R-13 + R-5ci

ENTRY CANOPY OPENING - BENCH

3" = 1'-0"

13

METAL PANEL BASE AT EX'G SLAB EDGE

3" = 1'-0"

9

STUCCO BASE AT EX'G CONCRETE

3" = 1'-0"

5

LEGEND

1



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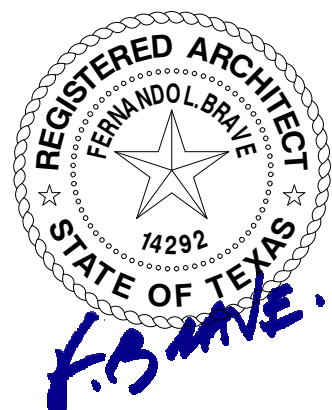
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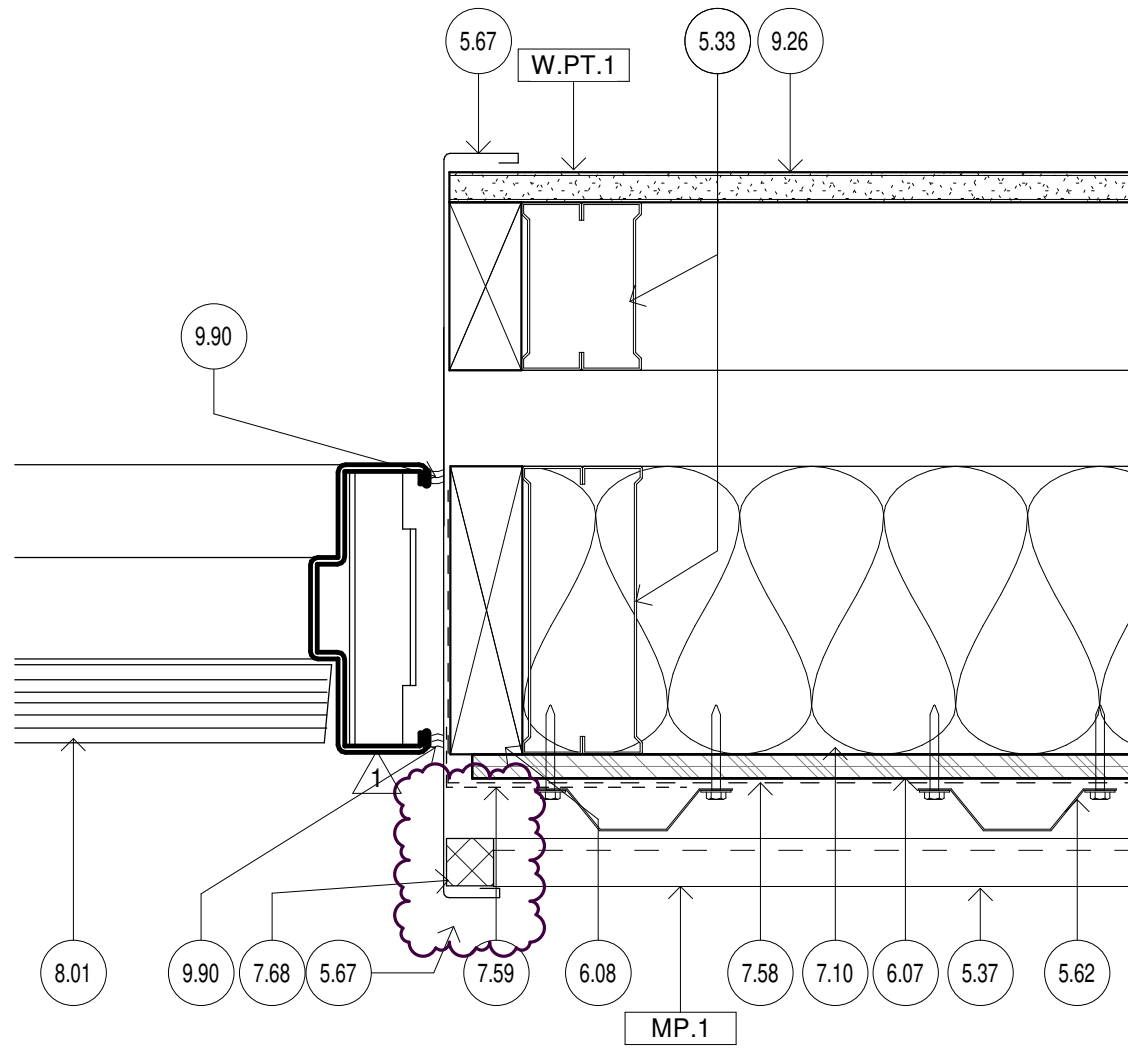
1 11/01/2024 ADDENDUM # 01

EXTERIOR GLAZING &  
DOOR DETAILS

Scale:

AS NOTED

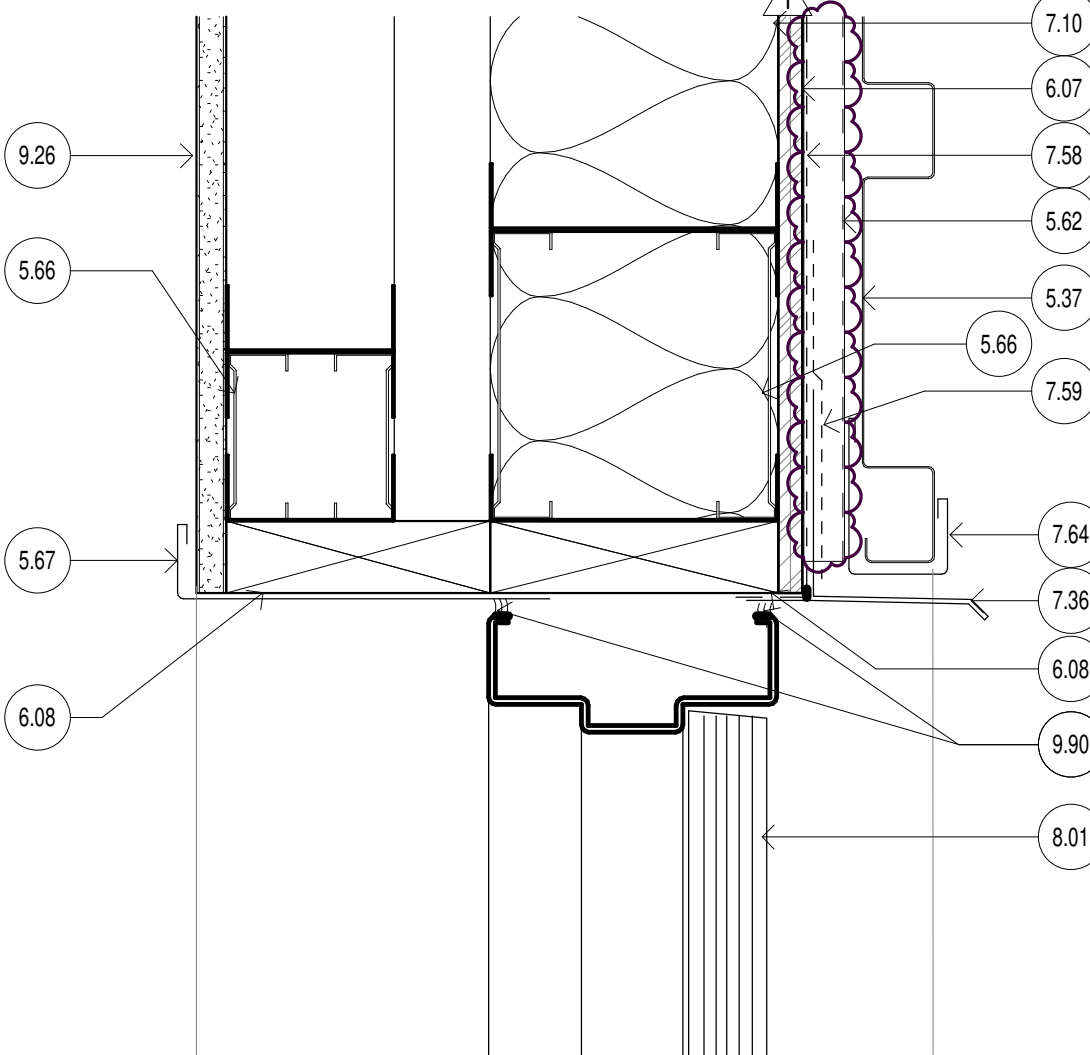
**A.611**



JAMB @ HM DOOR

3" = 1'-0"

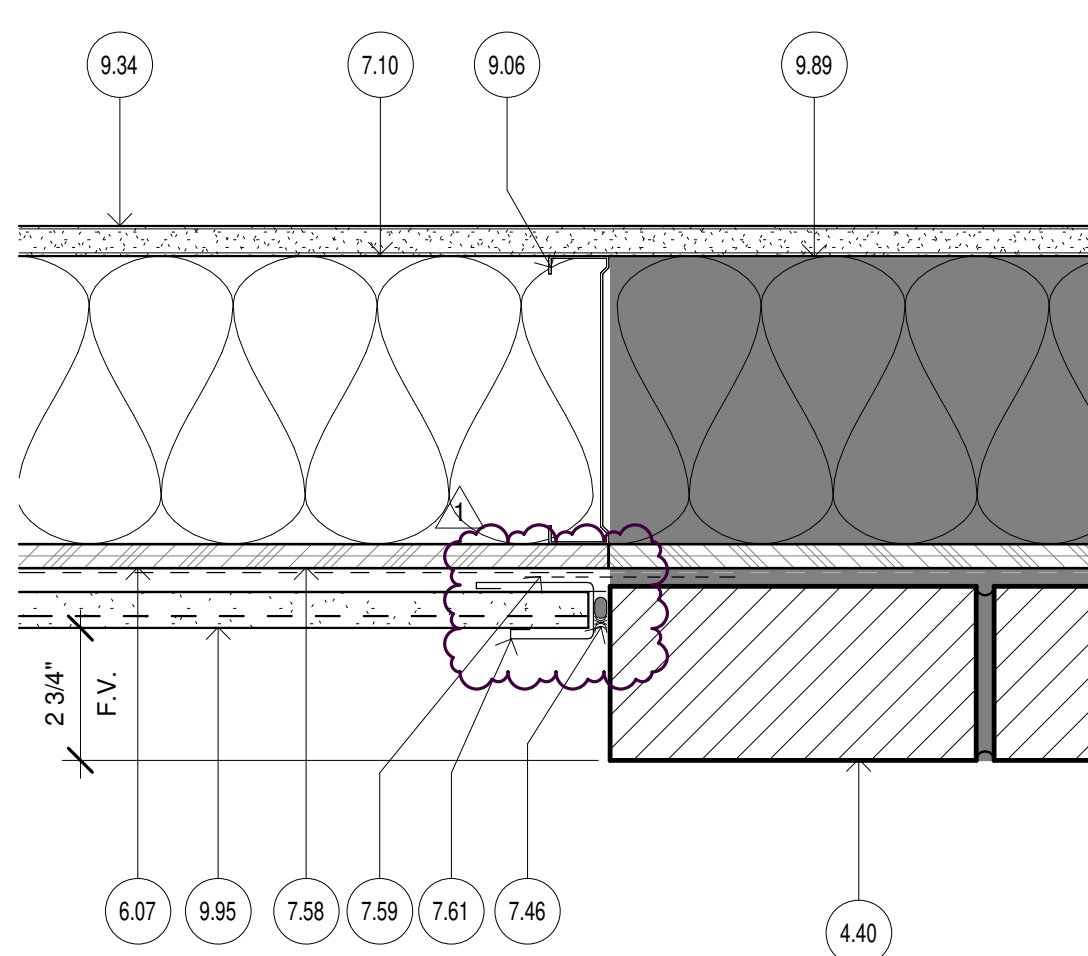
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HEADER @ HM DOOR

3" = 1'-0"

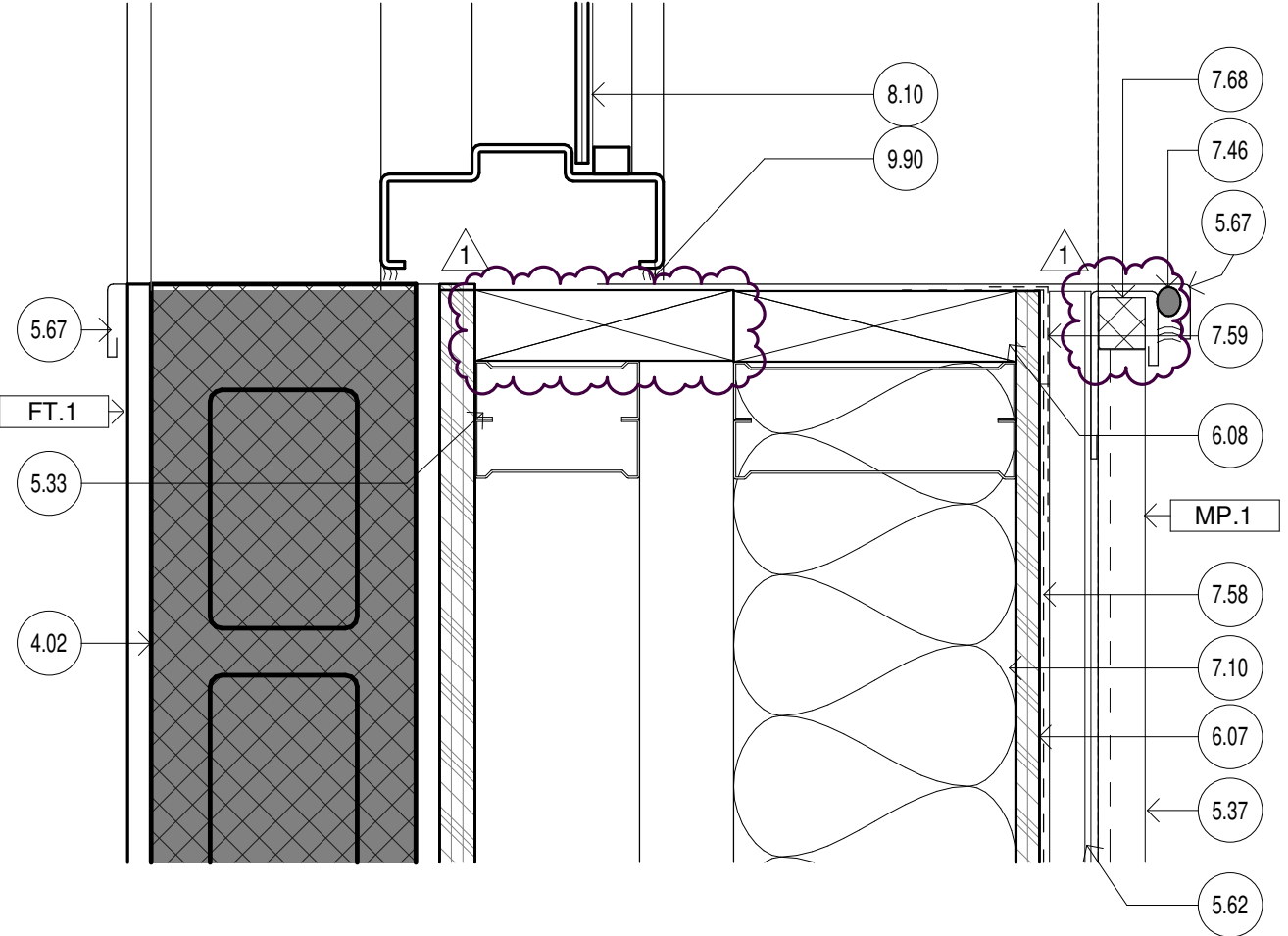
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DETAIL @ STUCCO/BRICK

3" = 1'-0"

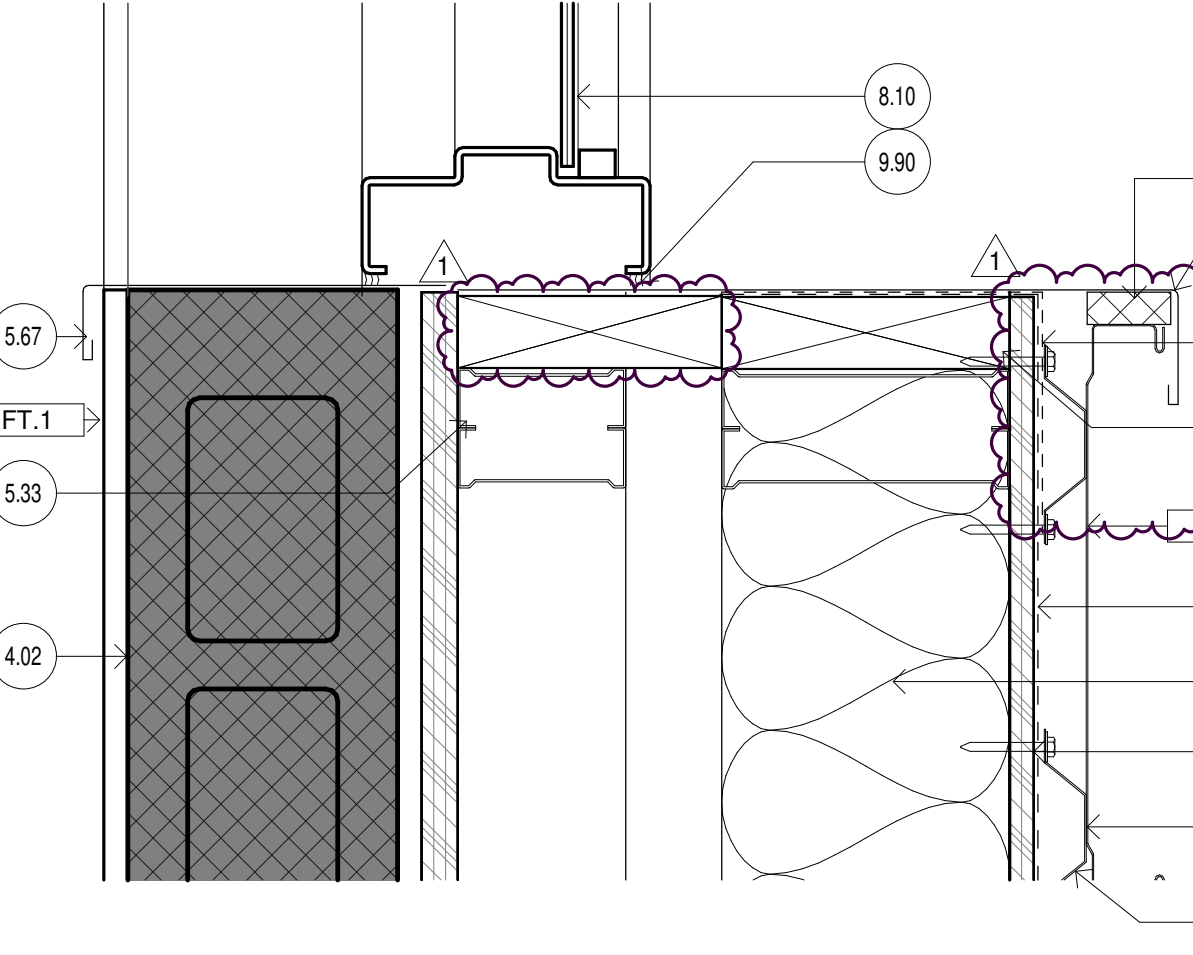
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HM JAMB @ HORIZONTAL PANEL

3" = 1'-0"

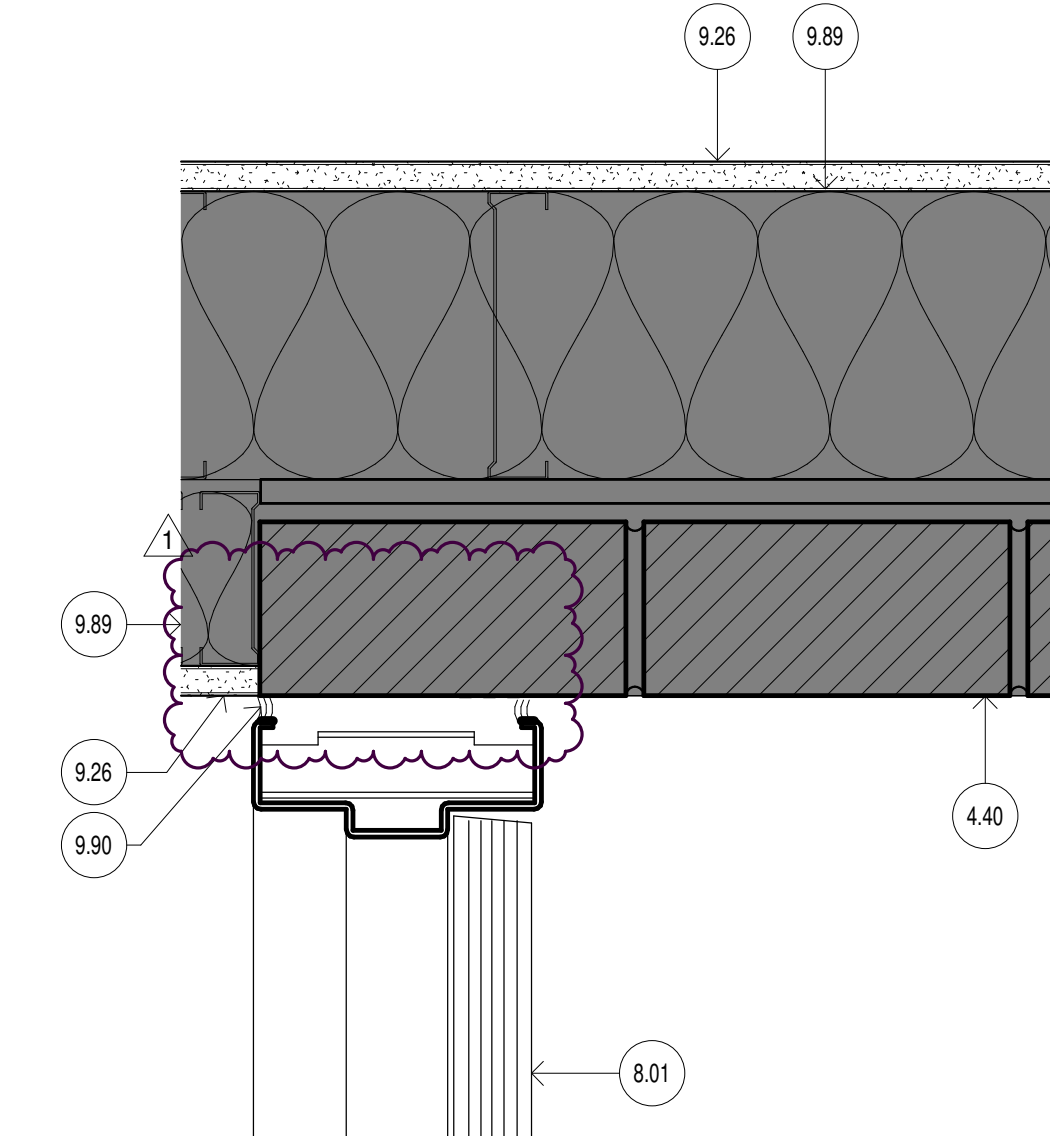
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HM JAMB @ VERTICAL PANEL

3" = 1'-0"

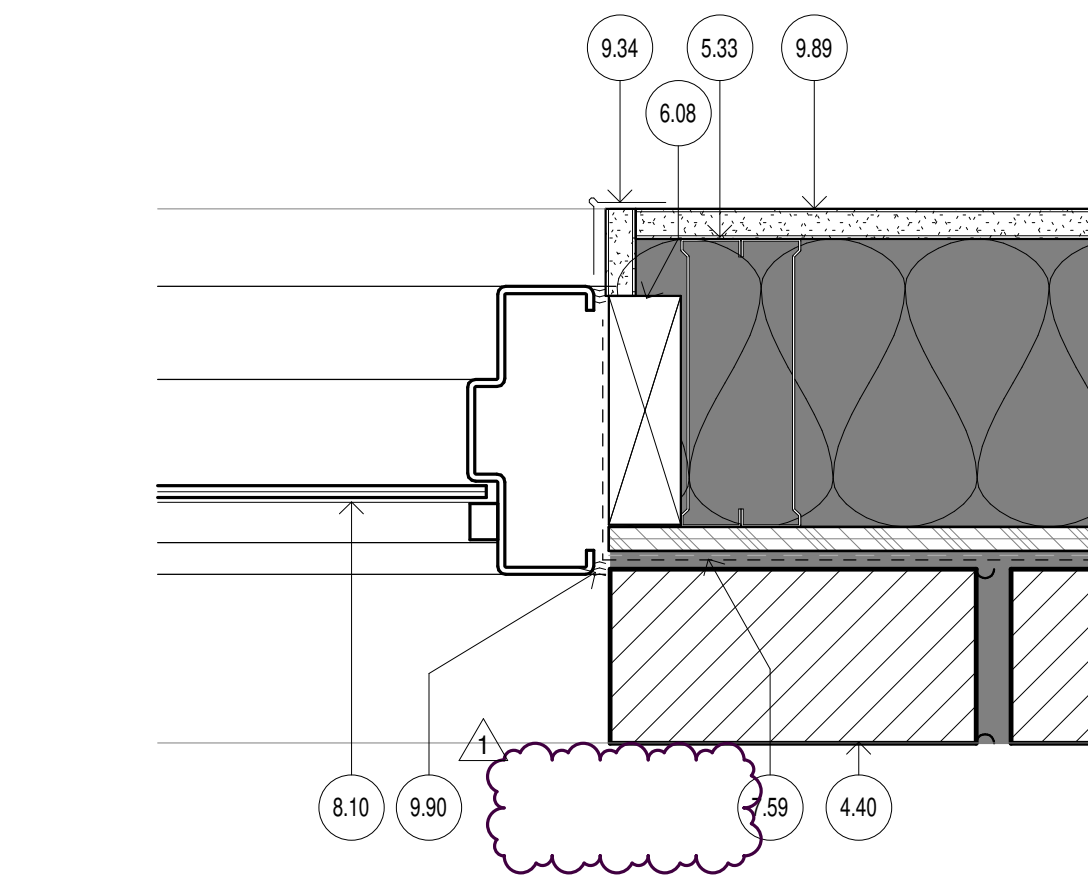
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STOREFRONT JAMB @ ENTRY

3" = 1'-0"

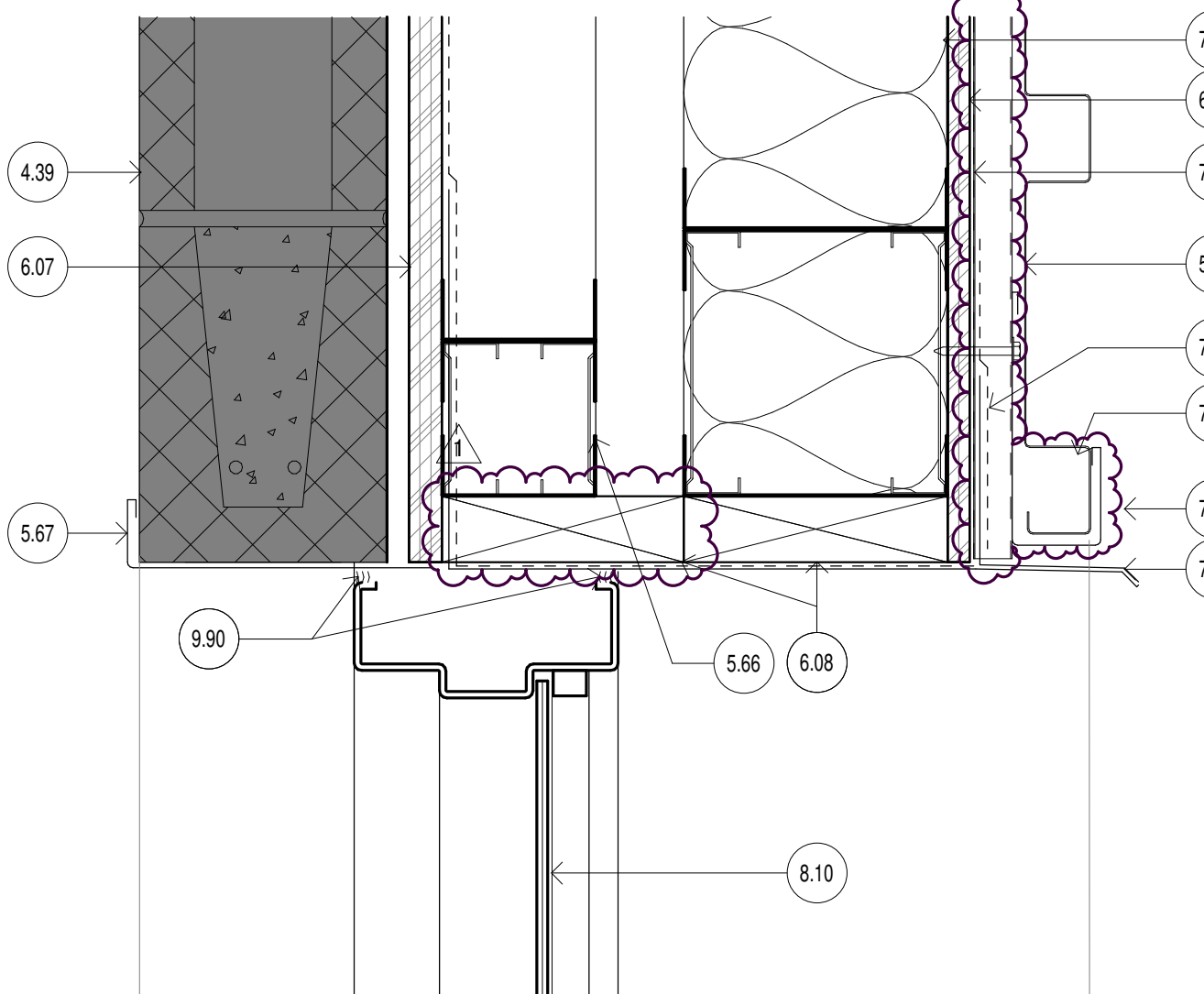
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HM JAMB @ EXISTING BRICK

3" = 1'-0"

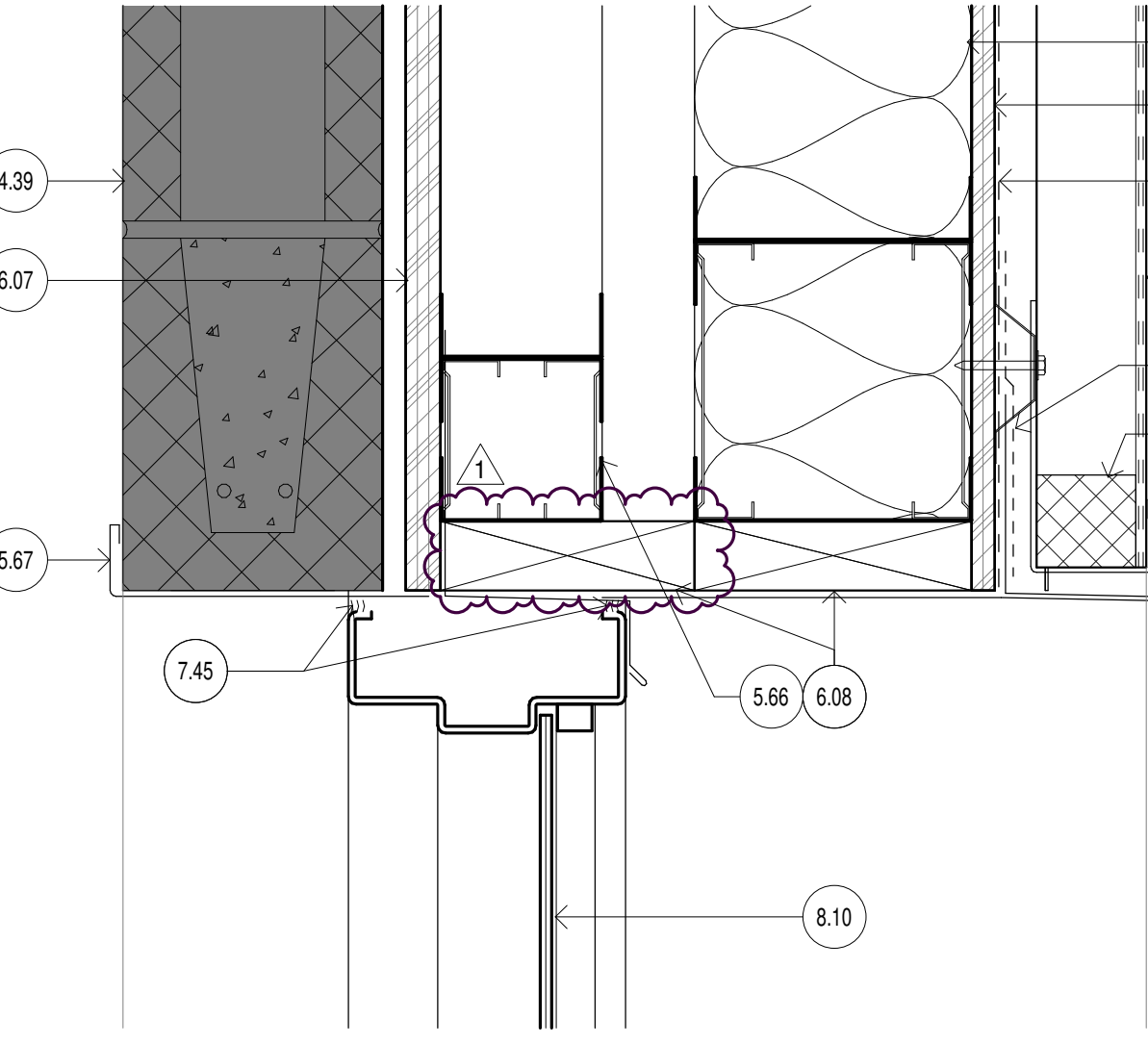
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HM HEADER @ HORIZONTAL METAL

3" = 1'-0"

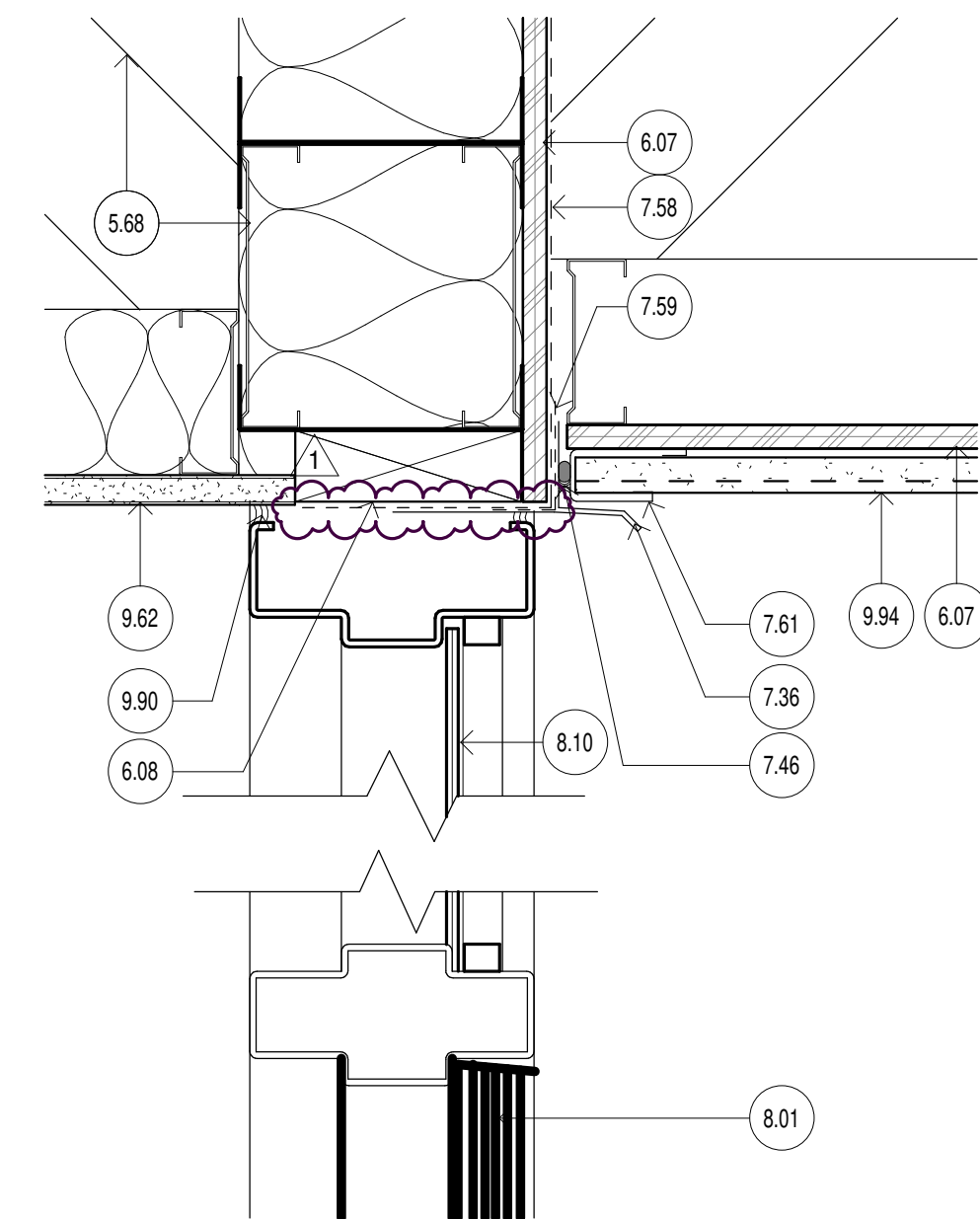
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HM HEADER @ VERTICAL METAL

3" = 1'-0"

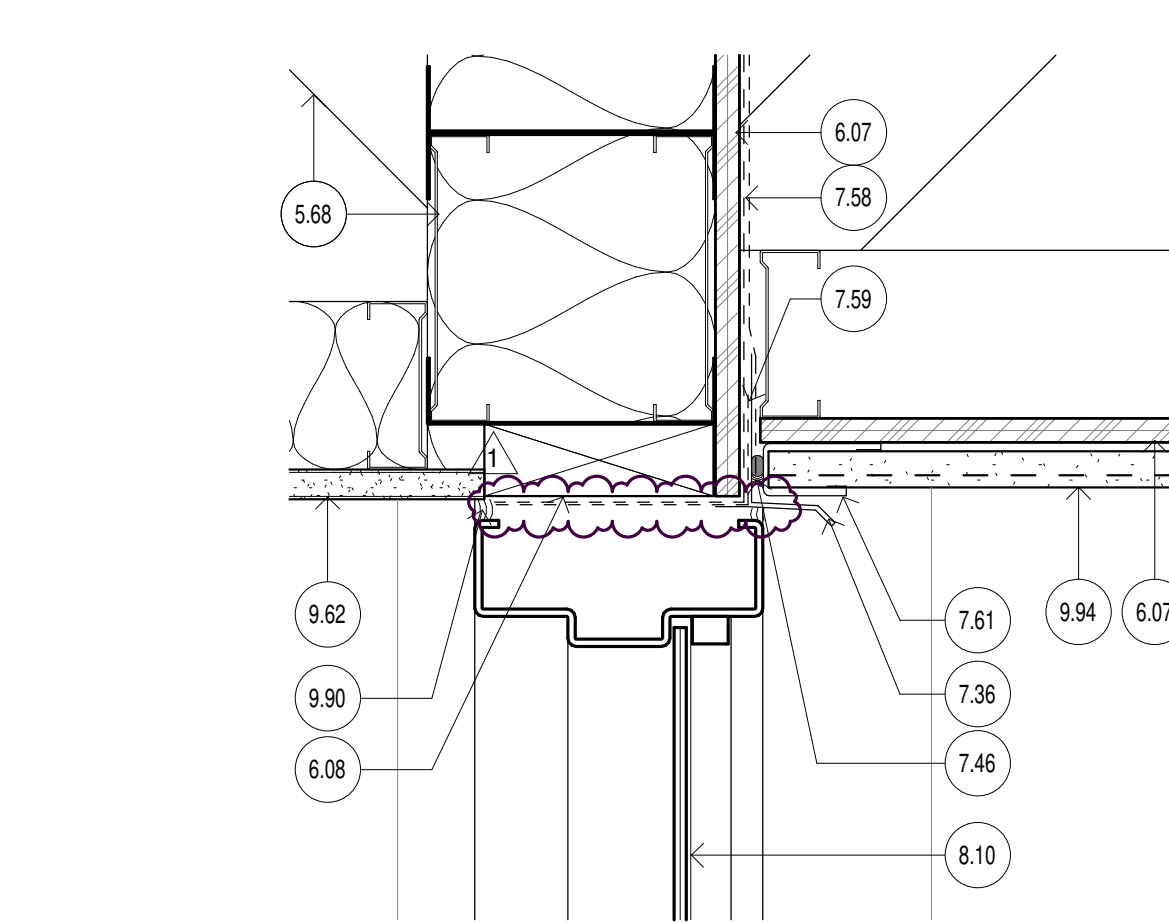
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HEADER @ STOREFRONT ENTRY

3" = 1'-0"

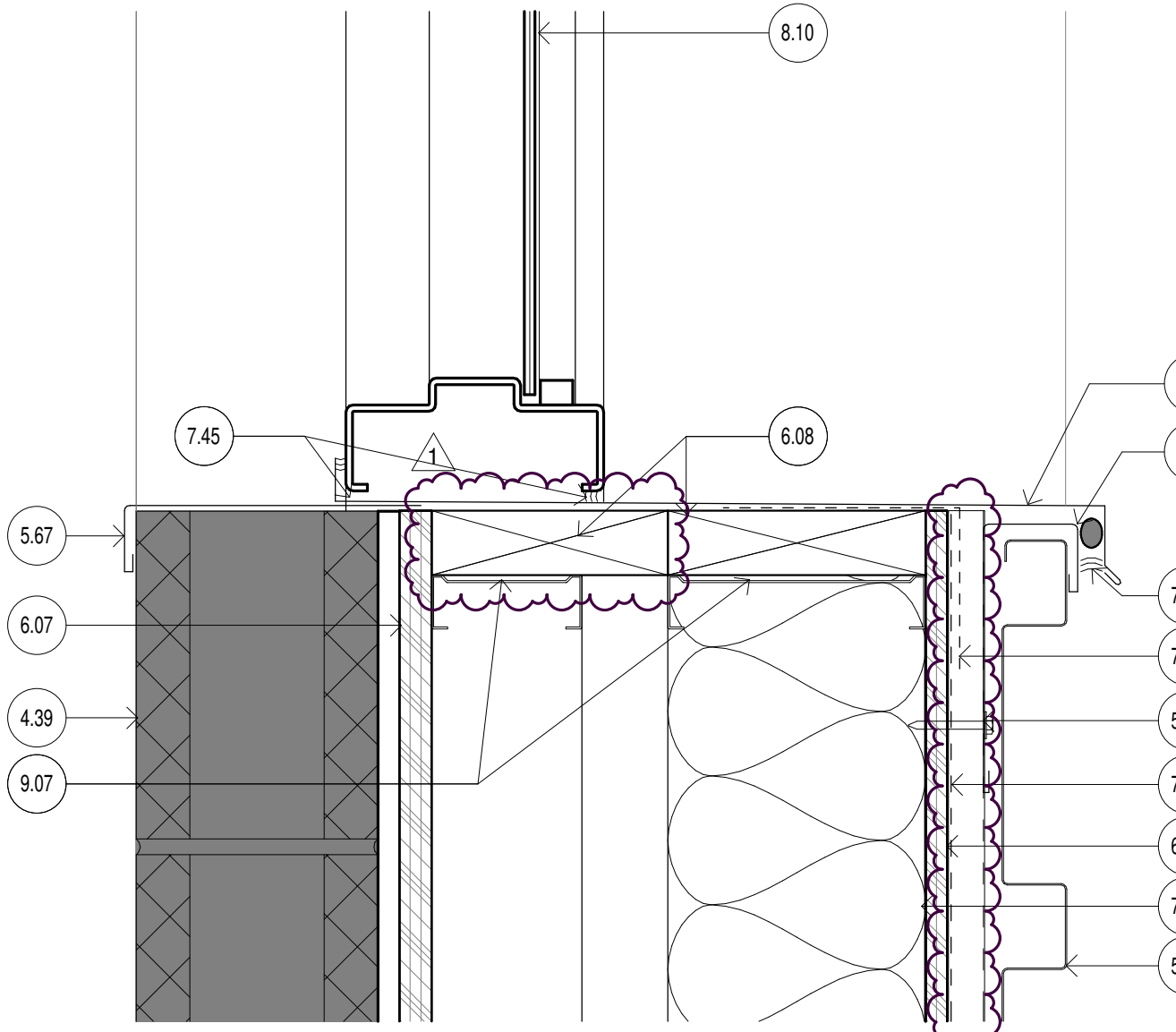
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STUCCO WINDOW HEADER

3" = 1'-0"

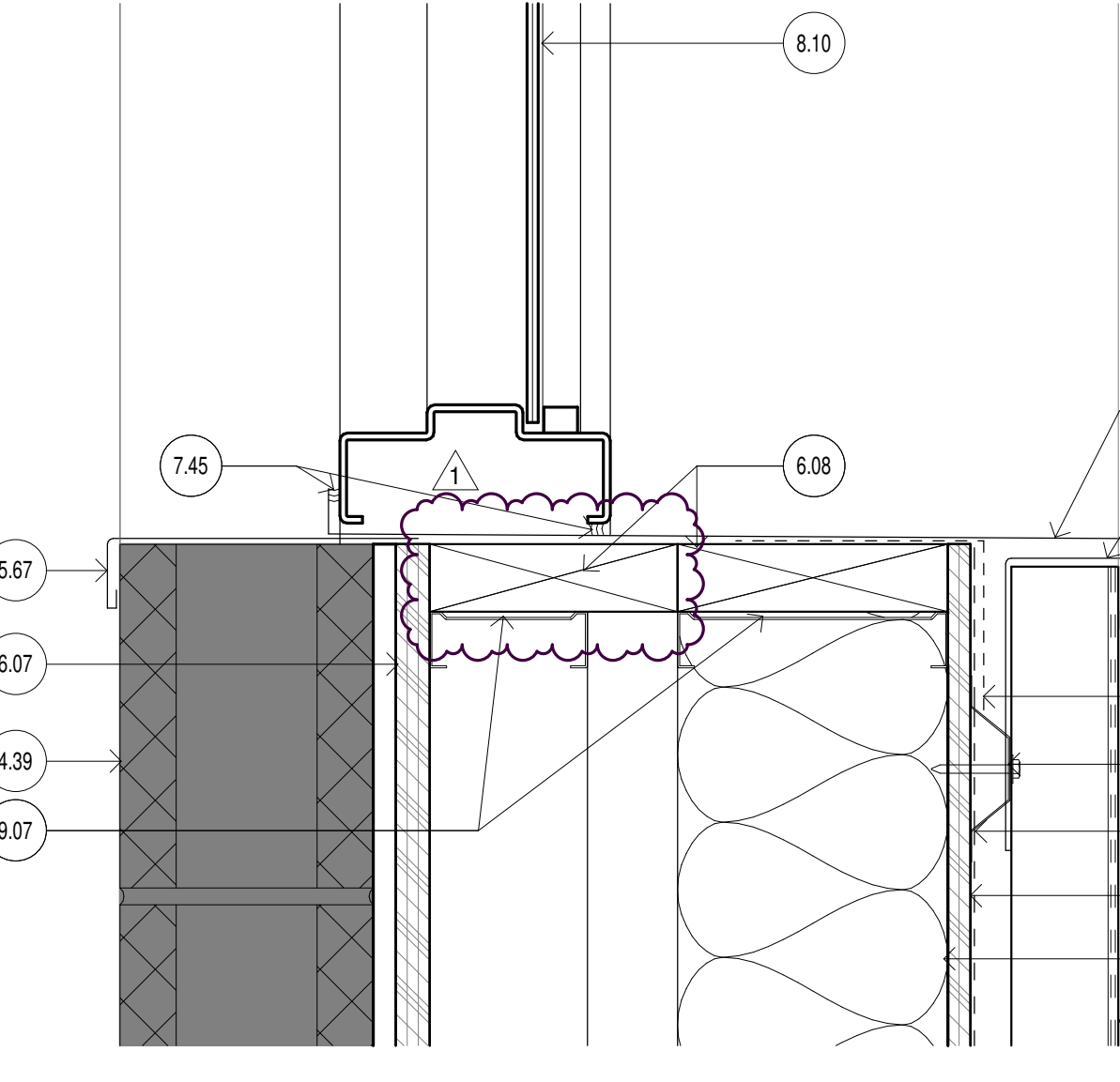
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HM SILL @ HORIZONTAL METAL

3" = 1'-0"

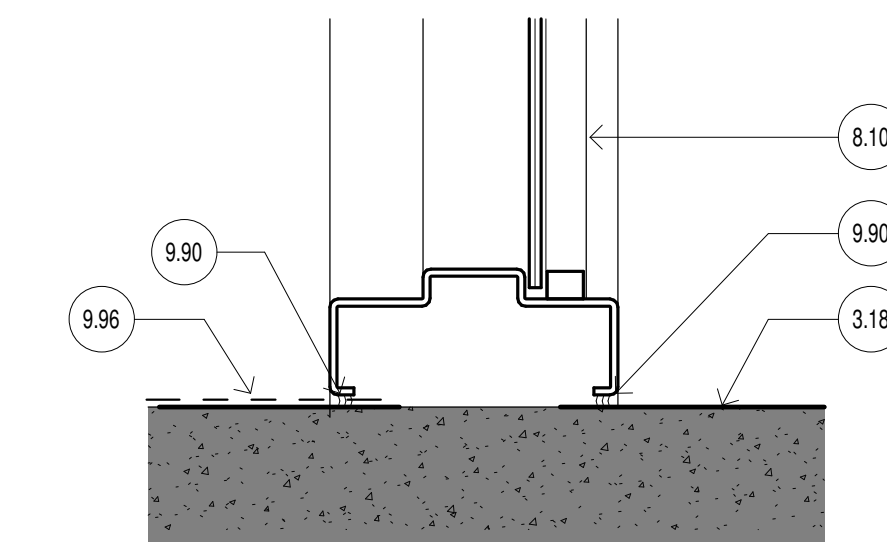
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HM SILL @ VERTICAL METAL

3" = 1'-0"

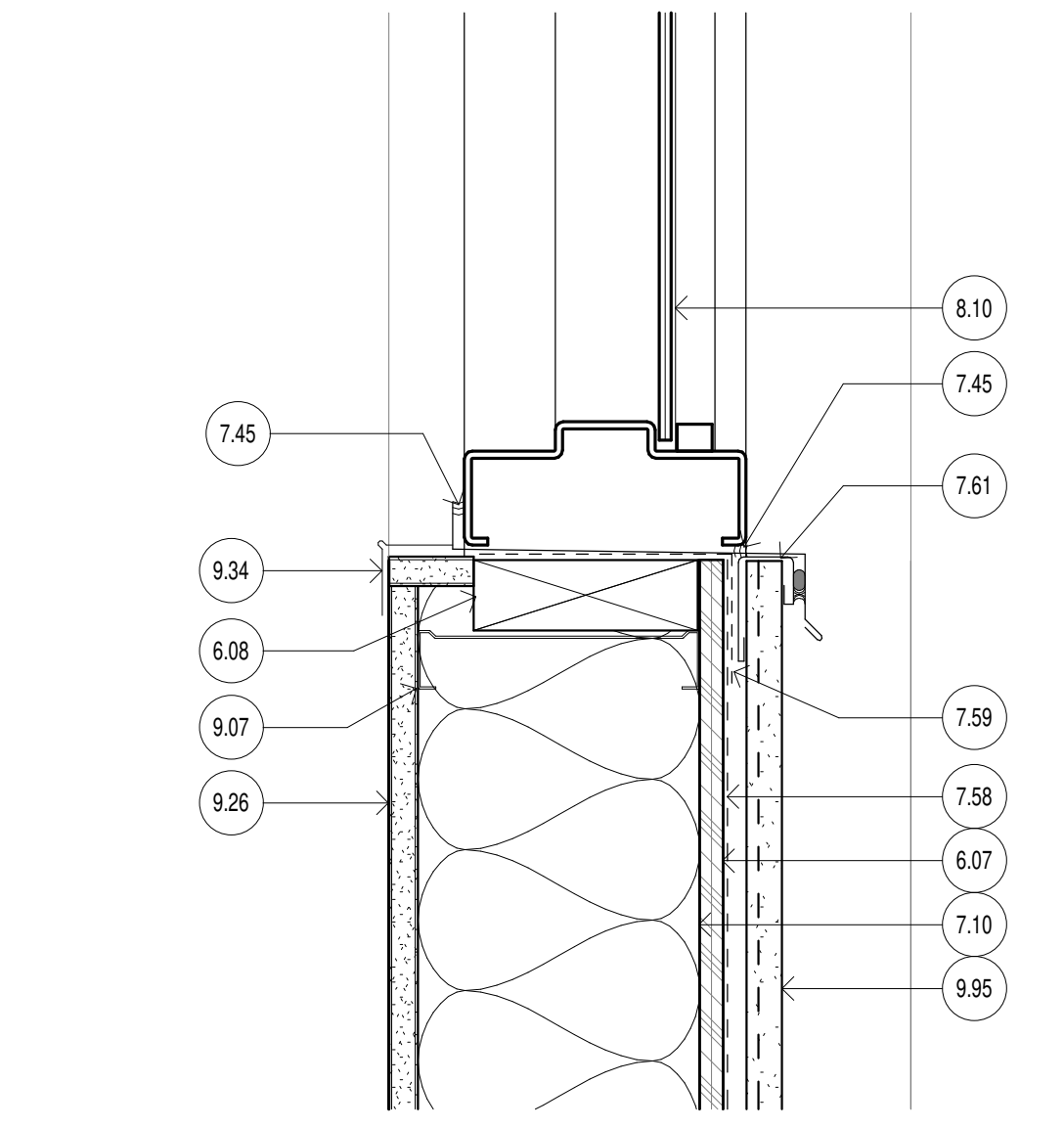
13



HM SILL

3" = 1'-0"

9



STUCCO WINDOW SILL

3" = 1'-0"

5

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METAL BUILDING: R13 + R-6.5ci  
METAL FRAMED: R-13 + R-5ci

LEGEND

1



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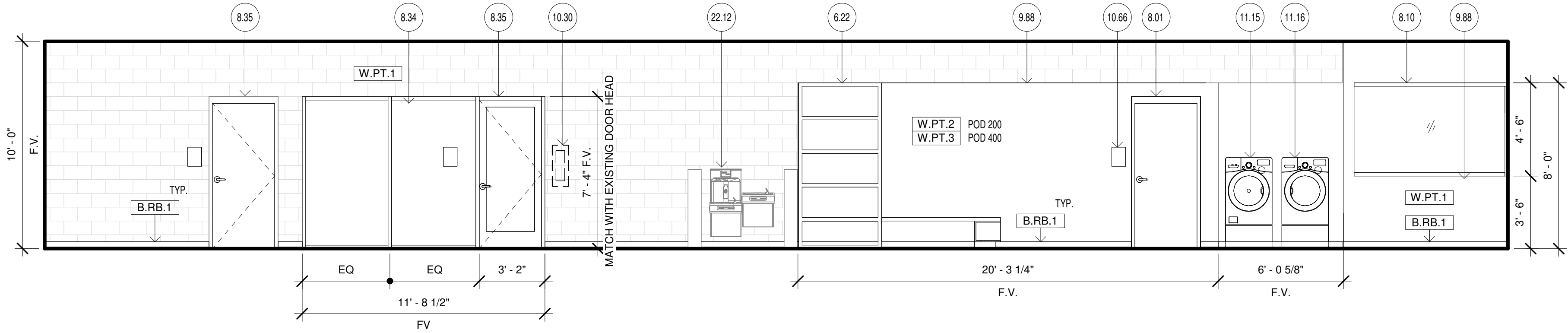
ISSUE:  
05/02/2024 SCHEMATIC DESIGN  
06/14/2024 DESIGN DEVELOPMENT  
08/23/2024 90% CONSTRUCTION  
DOCUMENTS  
09/23/2024 100% CONSTRUCTION  
DOCUMENTS

1 11/01/2024 ADDENDUM # 01

INTERIOR ELEVATIONS

Scale: AS NOTED

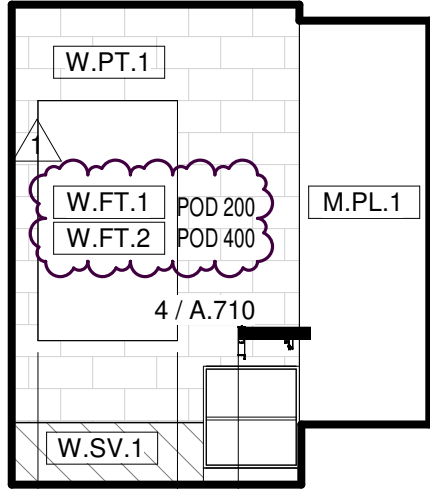
A.701



CORRIDOR 202 WEST

1/4" = 1'-0"

8

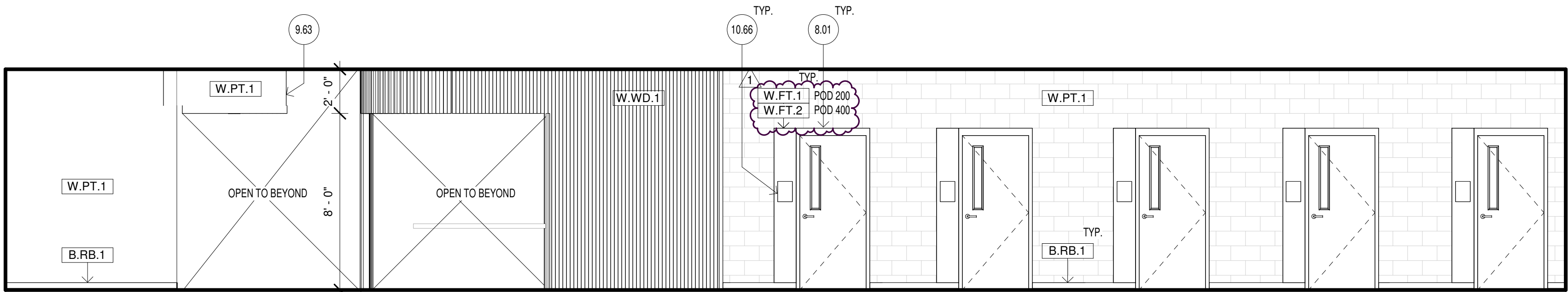


0'-6 1/2" 2'-10 7/8" 0'-6 1/2"

UNIT LEFT

1/4" = 1'-0"

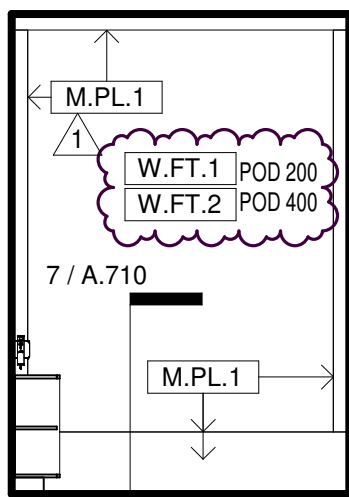
19



CORRIDOR 202 EAST

1/4" = 1'-0"

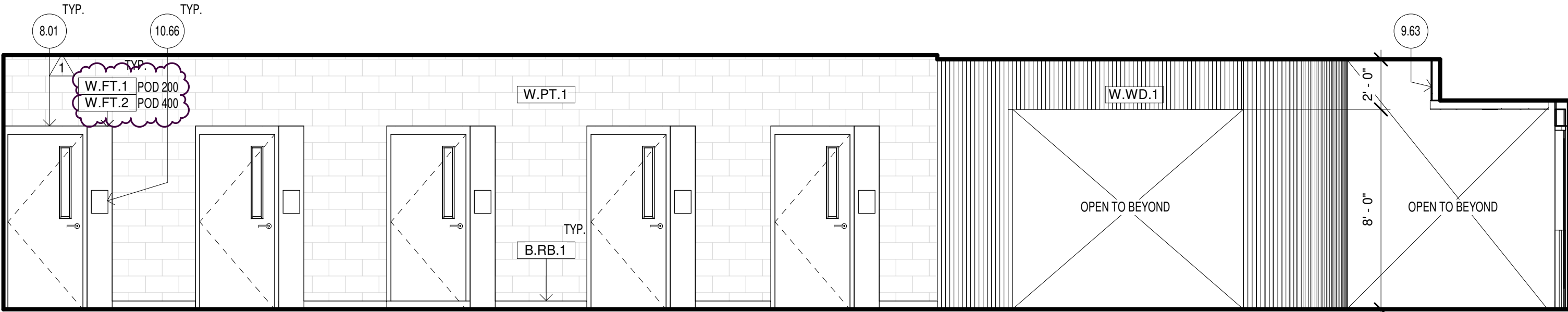
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UNIT BACK

1/4" = 1'-0"

18



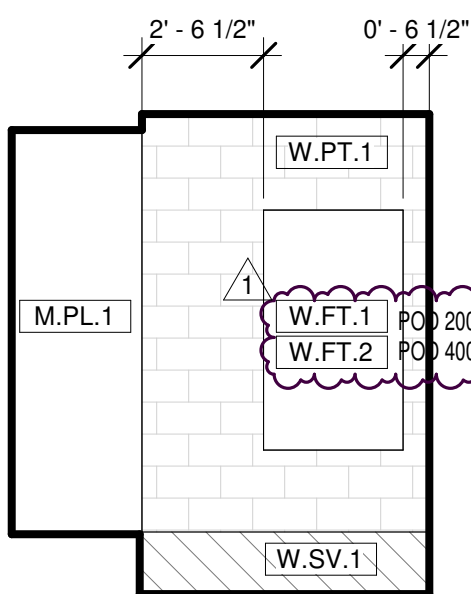
CORRIDOR 201 WEST

1/4" = 1'-0"

6

KEYNOTES

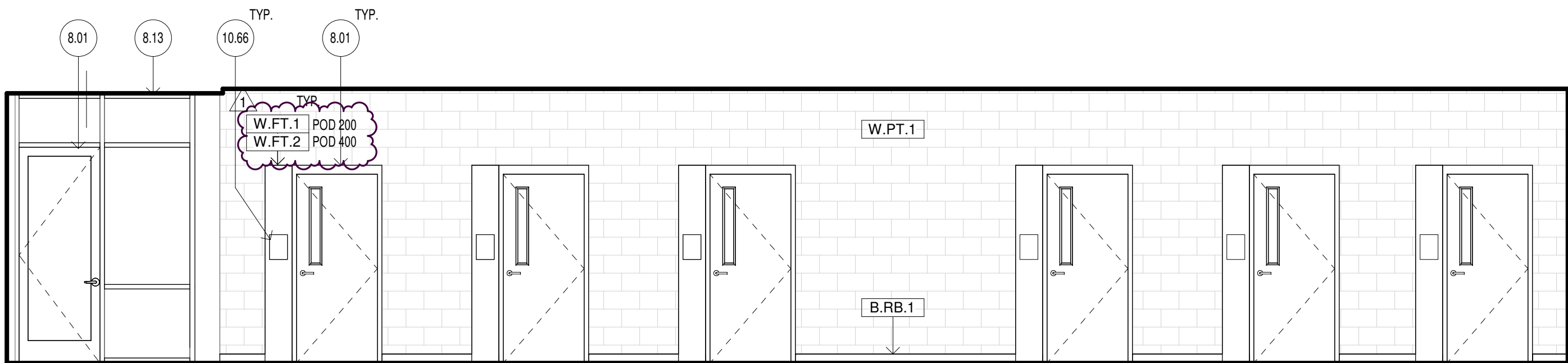
2



UNIT RIGHT

1/4" = 1'-0"

17



CORRIDOR 201 EAST

1/4" = 1'-0"

5

LEGEND

1

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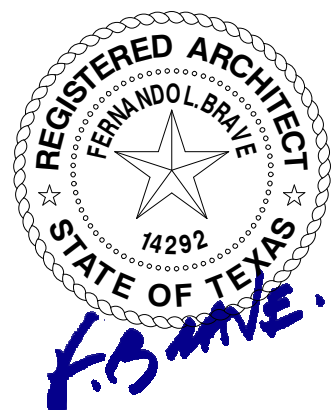
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DOCUMENTS  
09/23/2024 100% CONSTRUCTION  
DOCUMENTS  
1 11/01/2024 ADDENDUM # 01

INTERIOR ELEVATIONS

Scale: AS NOTED

**A.702**

CONTROL EAST

1/4" = 1'-0"

12

CONTROL WEST

1/4" = 1'-0"

8

TOILET/SHOWERS WEST

1/4" = 1'-0"

15

CONTROL SOUTH

1/4" = 1'-0"

11

CONTROL NORTH

1/4" = 1'-0"

7

GROUP WEST

1/4" = 1'-0"

18

GROUP EAST

1/4" = 1'-0"

14

OFFICES ELEVATION

1/4" = 1'-0"

6

KEYNOTES

2

GROUP SOUTH

1/4" = 1'-0"

17

GROUP NORTH

1/4" = 1'-0"

13

DAY ROOM SOUTH

1/4" = 1'-0"

5

GENERAL NOTES

1



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 09/23/2024 100% CONSTRUCTION DOCUMENTS  
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TYPICAL DOOR TYPES,  
 SCHEDULES & HARDWARE  
 TYPES

Scale: AS NOTED

A.820

| DOOR & FRAME SCHEDULE - EXTERIOR DOORS |            |       |       |           |      |      |       |      |      |    |         |         |        |       |          |                           |  |
|--|------------|-------|-------|-----------|------|------|-------|------|------|----|---------|---------|--------|-------|----------|---------------------------|--|
| DOOR NO.                               | ROOM NAME  | DOORS |       |           |      |      | FRAME |      |      |    |         |         |        | GLASS | HARDWARE | REMARKS                   |  |
|  |            | SIZE  |       |           | TYPE | MATL | FN    | TYPE | MATL | FN | DETAIL  |         |        |       |          |                           |  |
|  |            | W     | H     | T         |      |      |       |      |      |    | H       | J       | S      |       |          |                           |  |
| X100                                   | DAY ROOM   | 3'-0" | 8'-0" | 0'-1 3/4" | D    | HM   |       | 2    |      |    | 10A.611 | 11A.611 | 6A.820 | GL.4  | 2.0      | CARD READER, KNOX BOX     |  |
| X101                                   | CORRIDOR   | 3'-0" | 7'-0" | 0'-1 3/4" | B    | HM   |       | 1    | HM   |    | 12A.611 | 16A.611 | 6A.820 | GL.4  | 4.0      | CARD READER               |  |
| X102                                   | CORRIDOR   | 3'-0" | 7'-0" | 0'-1 3/4" | B    | HM   |       | 1    | HM   |    | 12A.611 | 16A.611 | 6A.820 | GL.4  | 3.0      | CARD READER               |  |
| X200                                   | DAY ROOM   | 3'-0" | 8'-0" | 0'-1 3/4" | D    | HM   |       | 2    | HM   |    | 10A.611 | 11A.611 | 6A.820 | GL.4  | 2.0      | CARD READER, KNOX BOX     |  |
| X201                                   | CORRIDOR   | 3'-0" | 7'-0" | 0'-1 3/4" | B    | HM   |       | 1    | HM   |    | 12A.611 | 16A.611 | 6A.820 | GL.4  | 4.0      | CARD READER               |  |
| X202                                   | CORRIDOR   | 3'-0" | 7'-0" | 0'-1 3/4" | B    | HM   |       | 1    | HM   |    | 12A.611 | 16A.611 | 6A.820 | GL.4  | 3.0      | CARD READER, KNOX BOX     |  |
| X300                                   | DAY ROOM   | 3'-0" | 8'-0" | 0'-1 3/4" | D    | HM   |       | 2    | HM   |    | 10A.611 | 11A.611 | 6A.820 | GL.4  | 2.0      | CARD READER               |  |
| X301                                   | CORRIDOR   | 3'-0" | 7'-0" | 0'-1 3/4" | B    | HM   |       | 1    | HM   |    | 12A.611 | 16A.611 | 6A.820 | GL.4  | 4.0      | CARD READER               |  |
| X302                                   | CORRIDOR   | 3'-0" | 7'-0" | 0'-1 3/4" | B    | HM   |       | 1    | HM   |    | 12A.611 | 16A.611 | 6A.820 | GL.4  | 3.0      | CARD READER               |  |
| X400                                   | DAY ROOM   | 3'-0" | 8'-0" | 0'-1 3/4" | D    | HM   |       | 2    | HM   |    | 10A.611 | 11A.611 | 6A.820 | GL.4  | 2.0      | CARD READER, KNOX BOX     |  |
| X401                                   | CORRIDOR   | 3'-0" | 7'-0" | 0'-1 3/4" | B    | HM   |       | 1    | HM   |    | 12A.611 | 16A.611 | 6A.820 | GL.4  | 4.0      | CARD READER               |  |
| X402                                   | CORRIDOR   | 3'-0" | 7'-0" | 0'-1 3/4" | B    | HM   |       | 1    | HM   |    | 12A.611 | 16A.611 | 6A.820 | GL.4  | 4.0      | CARD READER               |  |
| XD001                                  |            | 4'-0" | 8'-0" | 0'-2 3/4" | R    |      |       |      |      |    |         |         |        | -     |          | DOUBLE DOORS              |  |
| XD002                                  |            | 4'-0" | 8'-0" | 0'-2 3/4" | R    |      |       |      |      |    |         |         |        | -     |          | DOUBLE DOORS              |  |
| XD100                                  | MECHANICAL | 3'-0" | 7'-0" | 0'-1 3/4" | E    | HM   |       | 3    | HM   |    | 12A.611 | 16A.611 | 6A.820 | -     | 1.0      | DOUBLE DOORS, CARD READER |  |
| XD137                                  | MECHANICAL | 3'-0" | 7'-0" | 0'-1 3/4" | E    | HM   |       | 3    | HM   |    | 12A.611 | 16A.611 | 6A.820 | -     | 1.0      | DOUBLE DOORS, CARD READER |  |

EXTERIOR DOORS NOTE:  
 AT ALL EXTERIOR DOORS INSTALL A DOOR TOP WEATHER STRIP (DRIP CAP) ATTACHED TO HEAD OF DOOR FRAME EQUAL TO PEMCO 348D LENGTH EQUAL TO WIDTH OF DOOR FRAME.

| DOOR & FRAME SCHEDULE - INTERIOR DOORS |                  |       |       |           |   |      |       |    |      |      |         |         |   |        |      |      |    |                      |  |         |          |         |         |
|--|------------------|-------|-------|-----------|---|------|-------|----|------|------|---------|---------|---|--------|------|------|----|----------------------|--|---------|----------|---------|---------|
| DOOR NO.                               | ROOM NAME        | DOORS |       |           |   |      | FRAME |    |      |      |         |         |   | DETAIL |      |      |    |                      |  | GLAZING | HARDWARE | SIGNAGE | REMARKS |
|  |                  | W     | SIZE  |           | T | TYPE | MATL  | FN | TYPE | MATL | FN      | H       | J | S      |      |      |    |                      |  |         |          |         |         |
|  |                  |       | H     |           |   |      |       |    |      |      |         |         |   |        |      |      |    |                      |  |         |          |         |         |
| 203                                    | ROOM             | 3'-0" | 7'-0" | 0'-1 3/4" | B | WD   |       | 1  | HM   |      | 5A.821  | 7A.821  |   |        | GL.2 | 9.0  | S2 | KEYED DOORS          |  |         |          |         |         |
| 204                                    | ROOM             | 3'-0" | 7'-0" | 0'-1 3/4" | B | WD   |       | 1  | HM   |      | 5A.821  | 7A.821  |   |        | GL.2 | 9.0  | S2 | KEYED DOORS          |  |         |          |         |         |
| 205                                    | ROOM             | 3'-0" | 7'-0" | 0'-1 3/4" | B | WD   |       | 1  | HM   |      | 5A.821  | 7A.821  |   |        | GL.2 | 9.0  | S2 | KEYED DOORS          |  |         |          |         |         |
| 206                                    | ROOM             | 3'-0" | 7'-0" | 0'-1 3/4" | B | WD   |       | 1  | HM   |      | 5A.821  | 7A.821  |   |        | GL.2 | 9.0  | S2 | KEYED DOORS          |  |         |          |         |         |
| 207                                    | ROOM             | 3'-0" | 7'-0" | 0'-1 3/4" | B | WD   |       | 1  | HM   |      | 5A.821  | 7A.821  |   |        | GL.2 | 9.0  | S2 | KEYED DOORS          |  |         |          |         |         |
| 208                                    | ROOM             | 3'-0" | 7'-0" | 0'-1 3/4" | B | WD   |       | 1  | HM   |      | 5A.821  | 7A.821  |   |        | GL.2 | 9.0  | S2 | KEYED DOORS          |  |         |          |         |         |
| 209                                    | ROOM             | 3'-0" | 7'-0" | 0'-1 3/4" | B | WD   |       | 1  | HM   |      | 5A.821  | 7A.821  |   |        | GL.2 | 9.0  | S2 | KEYED DOORS          |  |         |          |         |         |
| 210                                    | ROOM             | 3'-0" | 7'-0" | 0'-1 3/4" | B | WD   |       | 1  | HM   |      | 5A.821  | 7A.821  |   |        | GL.2 | 9.0  | S2 | KEYED DOORS          |  |         |          |         |         |
| 211                                    | ROOM             | 3'-0" | 7'-0" | 0'-1 3/4" | B | WD   |       | 1  | HM   |      | 5A.821  | 7A.821  |   |        | GL.2 | 9.0  | S2 | KEYED DOORS          |  |         |          |         |         |
| 212                                    | ROOM             | 3'-0" | 7'-0" | 0'-1 3/4" | B | WD   |       | 1  | HM   |      | 5A.821  | 7A.821  |   |        | GL.2 | 9.0  | S2 | KEYED DOORS          |  |         |          |         |         |
| 213                                    | ROOM             | 3'-0" | 7'-0" | 0'-1 3/4" | B | WD   |       | 1  | HM   |      | 5A.821  | 7A.821  |   |        | GL.2 | 9.0  | S2 | KEYED DOORS          |  |         |          |         |         |
| 214                                    | ROOM             | 3'-0" | 7'-0" | 0'-1 3/4" | B | WD   |       | 1  | HM   |      | 5A.821  | 7A.821  |   |        | GL.2 | 9.0  | S2 | KEYED DOORS          |  |         |          |         |         |
| 215                                    | ADA ROOM         | 3'-0" | 7'-0" | 0'-1 3/4" | B | WD   |       | 1  | HM   |      | 5A.821  | 7A.821  |   |        | GL.2 | 9.0  | S2 | KEYED DOORS          |  |         |          |         |         |
| 217                                    | ROOM             | 3'-0" | 7'-0" | 0'-1 3/4" | B | WD   |       | 1  | HM   |      | 5A.821  | 7A.821  |   |        | GL.2 | 9.0  | S2 | KEYED DOORS          |  |         |          |         |         |
| 218                                    | ROOM             | 3'-0" | 7'-0" | 0'-1 3/4" | B | WD   |       | 1  | HM   |      | 5A.821  | 7A.821  |   |        | GL.2 | 9.0  | S2 | KEYED DOORS          |  |         |          |         |         |
| 403                                    | ROOM             | 3'-0" | 7'-0" | 0'-1 3/4" | B | WD   |       | 1  | HM   |      | 5A.821  | 7A.821  |   |        | GL.2 | 9.0  | S2 | KEYED DOORS          |  |         |          |         |         |
| 404                                    | ROOM             | 3'-0" | 7'-0" | 0'-1 3/4" | B | WD   |       | 1  | HM   |      | 5A.821  | 7A.821  |   |        | GL.2 | 9.0  | S2 | KEYED DOORS          |  |         |          |         |         |
| 405                                    | ROOM             | 3'-0" | 7'-0" | 0'-1 3/4" | B | WD   |       | 1  | HM   |      | 5A.821  | 7A.821  |   |        | GL.2 | 9.0  | S2 | KEYED DOORS          |  |         |          |         |         |
| 406                                    | ROOM             | 3'-0" | 7'-0" | 0'-1 3/4" | B | WD   |       | 1  | HM   |      | 5A.821  | 7A.821  |   |        | GL.2 | 9.0  | S2 | KEYED DOORS          |  |         |          |         |         |
| 407                                    | ROOM             | 3'-0" | 7'-0" | 0'-1 3/4" | B | WD   |       | 1  | HM   |      | 5A.821  | 7A.821  |   |        | GL.2 | 9.0  | S2 | KEYED DOORS          |  |         |          |         |         |
| 408                                    | ROOM             | 3'-0" | 7'-0" | 0'-1 3/4" | B | WD   |       | 1  | HM   |      | 5A.821  | 7A.821  |   |        | GL.2 | 9.0  | S2 | KEYED DOORS          |  |         |          |         |         |
| 409                                    | ROOM             | 3'-0" | 7'-0" | 0'-1 3/4" | B | WD   |       | 1  | HM   |      | 5A.821  | 7A.821  |   |        | GL.2 | 9.0  | S2 | KEYED DOORS          |  |         |          |         |         |
| 410                                    | ROOM             | 3'-0" | 7'-0" | 0'-1 3/4" | B | WD   |       | 1  | HM   |      | 5A.821  | 7A.821  |   |        | GL.2 | 9.0  | S2 | KEYED DOORS          |  |         |          |         |         |
| 411                                    | ROOM             | 3'-0" | 7'-0" | 0'-1 3/4" | B | WD   |       | 1  | HM   |      | 5A.821  | 7A.821  |   |        | GL.2 | 9.0  | S2 | KEYED DOORS          |  |         |          |         |         |
| 412                                    | ROOM             | 3'-0" | 7'-0" | 0'-1 3/4" | B | WD   |       | 1  | HM   |      | 5A.821  | 7A.821  |   |        | GL.2 | 9.0  | S2 | KEYED DOORS          |  |         |          |         |         |
| 413                                    | ROOM             | 3'-0" | 7'-0" | 0'-1 3/4" | B | WD   |       | 1  | HM   |      | 5A.821  | 7A.821  |   |        | GL.2 | 9.0  | S2 | KEYED DOORS          |  |         |          |         |         |
| 414                                    | ROOM             | 3'-0" | 7'-0" | 0'-1 3/4" | B | WD   |       | 1  | HM   |      | 5A.821  | 7A.821  |   |        | GL.2 | 9.0  | S2 | KEYED DOORS          |  |         |          |         |         |
| 415                                    | ADA ROOM         | 3'-0" | 7'-0" | 0'-1 3/4" | B | WD   |       | 1  | HM   |      | 5A.821  | 7A.821  |   |        | GL.2 | 9.0  | S2 | KEYED DOORS          |  |         |          |         |         |
| 417                                    | ROOM             | 3'-0" | 7'-0" | 0'-1 3/4" | B | WD   |       | 1  | HM   |      | 5A.821  | 7A.821  |   |        | GL.2 | 9.0  | S2 | KEYED DOORS          |  |         |          |         |         |
| 418                                    | ROOM             | 3'-0" | 7'-0" | 0'-1 3/4" | B | WD   |       | 1  | HM   |      | 5A.821  | 7A.821  |   |        | GL.2 | 9.0  | S2 | KEYED DOORS          |  |         |          |         |         |
| 419                                    | ROOM             | 3'-0" | 7'-0" | 0'-1 3/4" | B | WD   |       | 1  | HM   |      | 5A.821  | 7A.821  |   |        | GL.2 | 9.0  | S2 | KEYED DOORS          |  |         |          |         |         |
| D101                                   | GROUP            | 3'-0" | 7'-0" | 0'-1 3/4" | B | WD   |       | 1  | HM   |      | 8A.821  | 9A.821  |   |        | GL.2 | 9.0  | S2 | KEYED DOORS          |  |         |          |         |         |
| D107                                   | STAFF TOILET     | 3'-0" | 7'-0" | 0'-1 3/4" | C | WD   |       | 1  | HM   |      | 3A.821  | 4A.821  |   |        | -    | 8.0  |    | LOCKABLE FROM INSIDE |  |         |          |         |         |
| D108A                                  | CONTROL          | 3'-0" | 7'-0" | 0'-1 3/4" | C | WD   |       | 1  | HM   |      | 3A.821  | 4A.821  |   |        | -    | 5.0  | S2 | CARD READER          |  |         |          |         |         |
| D108B                                  | CONTROL          | 3'-0" | 7'-0" | 0'-1 3/4" | C | WD   |       | 1  | HM   |      | 3A.821  | 4A.821  |   |        | -    | 5.0  | S2 | CARD READER          |  |         |          |         |         |
| D109                                   | OFFICE           | 3'-0" | 7'-2" | 0'-1 3/4" | D | HM   |       | 4  | HM   |      | 10A.821 | 11A.821 |   |        | GL.3 | 5.0  | S2 | CARD READER          |  |         |          |         |         |
| D110                                   | OFFICE           | 3'-0" | 7'-2" | 0'-1 3/4" | D | HM   |       | 4  | HM   |      | 10A.821 | 11A.821 |   |        | GL.3 | 5.0  | S2 | CARD READER          |  |         |          |         |         |
| D111                                   | OFFICE           | 3'-0" | 7'-2" | 0'-1 3/4" | D | HM   |       | 4  | HM   |      | 10A.821 | 11A.821 |   |        | GL.3 | 5.0  | S2 | CARD READER          |  |         |          |         |         |
| D112                                   | DAY ROOM         | 3'-0" | 7'-0" | 0'-1 3/4" | B | WD   |       | 1  | HM   |      | 5A.821  | 6A.821  |   |        | GL.2 | 11.0 | S2 |                      |  |         |          |         |         |
| D114A                                  | TOILET/SHOWERS   | 3'-0" | 7'-0" | 0'-1 3/4" | A | WD   |       | 1  | HM   |      | 3A.821  | 4A.821  |   |        | -    | 12.0 | S3 |                      |  |         |          |         |         |
| D119                                   | CUSTODIAL        | 3'-0" | 7'-0" | 0'-1 3/4" | C | WD   |       | 1  | HM   |      | 5A.821  | 6A.821  |   |        | -    | 7.0  | S2 |                      |  |         |          |         |         |
| D121                                   | MECHANICAL CHASE | 2'-0" | 7'-0" | 0'-1 3/4" | A | HM   |       | 1  | HM   |      | 5A.821  | 6A.821  |   |        | -    |      |    | SERVICE DOOR         |  |         |          |         |         |
| D126                                   | OFFICE           | 3'-0" | 7'-2" | 0'-1 3/4" | D | HM   |       | 4  | HM   |      | 10A.821 | 11A.821 |   |        | GL.3 | 5.0  | S2 | CARD READER          |  |         |          |         |         |
| D127                                   | OFFICE           | 3'-0" | 7'-2" | 0'-1 3/4" | D | HM   |       | 4  | HM   |      | 10A.821 | 11A.821 |   |        | GL.3 | 5.0  | S2 | CARD READER          |  |         |          |         |         |
| D128                                   | OFFICE           | 3'-0" | 7'-2" | 0'-1 3/4" | D | HM   |       | 4  | HM   |      | 10A.821 | 11A.821 |   |        | GL.3 | 5.0  | S2 | CARD READER          |  |         |          |         |         |
| D129                                   | GROUP            | 3'-0" | 7'-0" | 0'-1 3/4" | B | WD   |       | 1  | HM   |      | 5A.821  | 6A.821  |   |        | GL.2 | 11.0 | S2 | KEYED DOORS          |  |         |          |         |         |
| D131A                                  | TOILET/SHOWERS   | 3'-0" | 7'-0" | 0'-1 3/4" | A | WD   |       | 1  | HM   |      | 3A.821  | 4A.821  |   |        | -    | 12.0 | S3 |                      |  |         |          |         |         |
| D134                                   | GROUP            | 3'-0" | 7'-2" | 0'-1 3/4" | D | HM   |       | 5  | HM   |      | 8A.821  | 9A.821  |   |        | GL.2 | 10.0 | S2 |                      |  |         |          |         |         |
| D136                                   | CUSTODIAL        | 3'-0" | 7'-0" | 0'-1 3/4" | C | WD   |       | 1  | HM   |      | 5A.821  | 6A.821  |   |        | -    | 7.0  | S2 |                      |  |         |          |         |         |
| D138                                   | MECHANICAL CHASE | 2'-0" | 7'-0" | 0'-1 3/4" | A | HM   |       | 1  | HM   |      | 5A.821  | 6A.821  |   |        | -    |      |    | SERVICE DOOR         |  |         |          |         |         |
| D139                                   | SPRINKLER ROOM   | 3'-0" | 7'-0" | 0'-1 3/4" | C | WD   |       | 1  | HM   |      | 5A.821  | 6A.821  |   |        | -    | 6.0  | S2 | CARD READER          |  |         |          |         |         |
| D220                                   | MANAGER OFFICE   | 3'-0" | 7'-2" | 0'-1 3/4" | D | HM   |       | 5  | HM   |      | 8A.821  | 9A.821  |   |        | GL.3 | 5.0  | S2 | CARD READER          |  |         |          |         |         |





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SEAL:



10/30/2024

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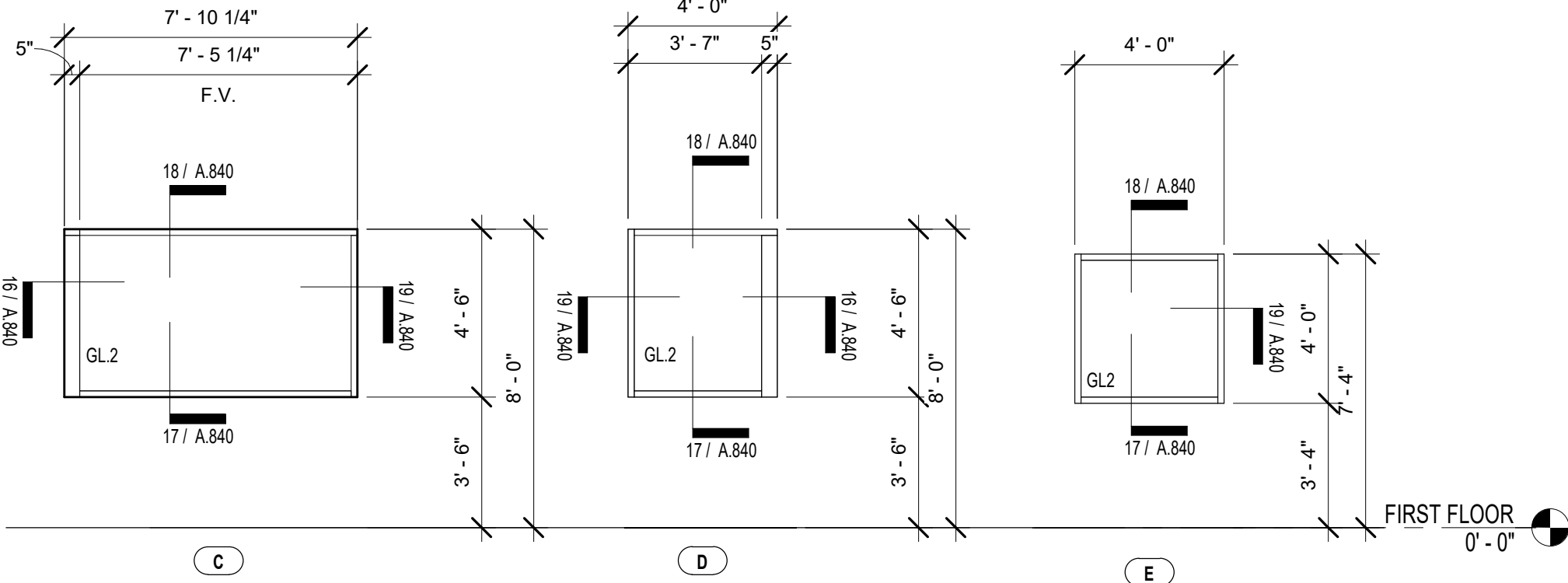
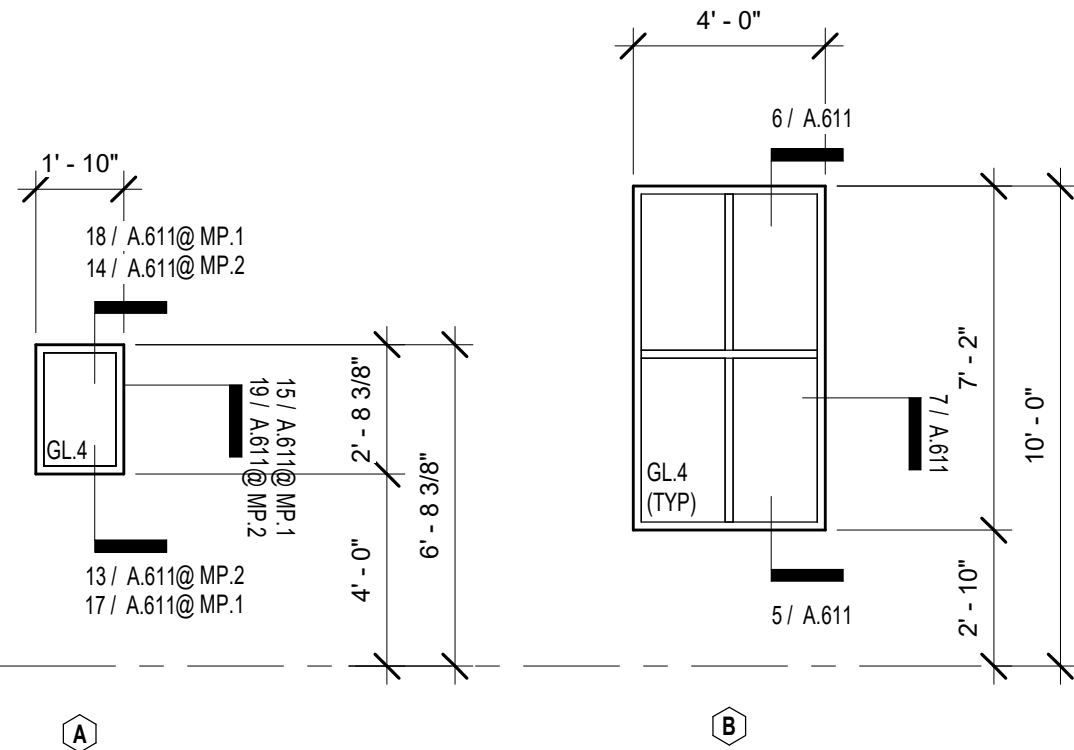
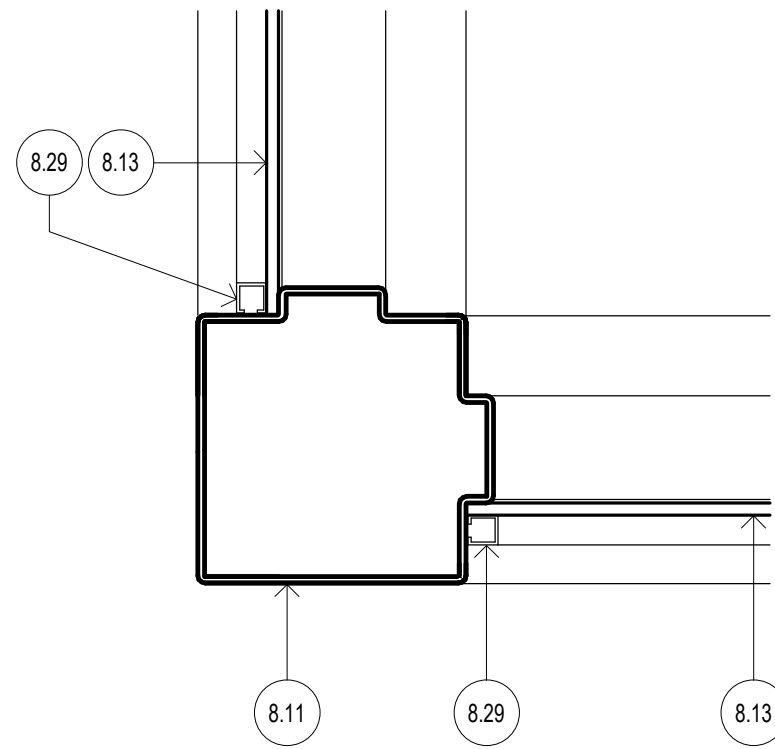
Author  
Checker

ISSUE:  
06/14/2024 DESIGN DEVELOPMENT  
08/23/2024 90% CONSTRUCTION  
DOCUMENTS  
09/23/2024 100% CONSTRUCTION  
DOCUMENTS  
1 11/01/2024 ADDENDUM # 01

GLAZING SCHEDULE,  
FRAME TYPES & INTERIOR  
GLAZING DETAILS

Scale: AS NOTED

**A.840**



H.M. WINDOW JAMB @ CORNER

3" = 1'-0"

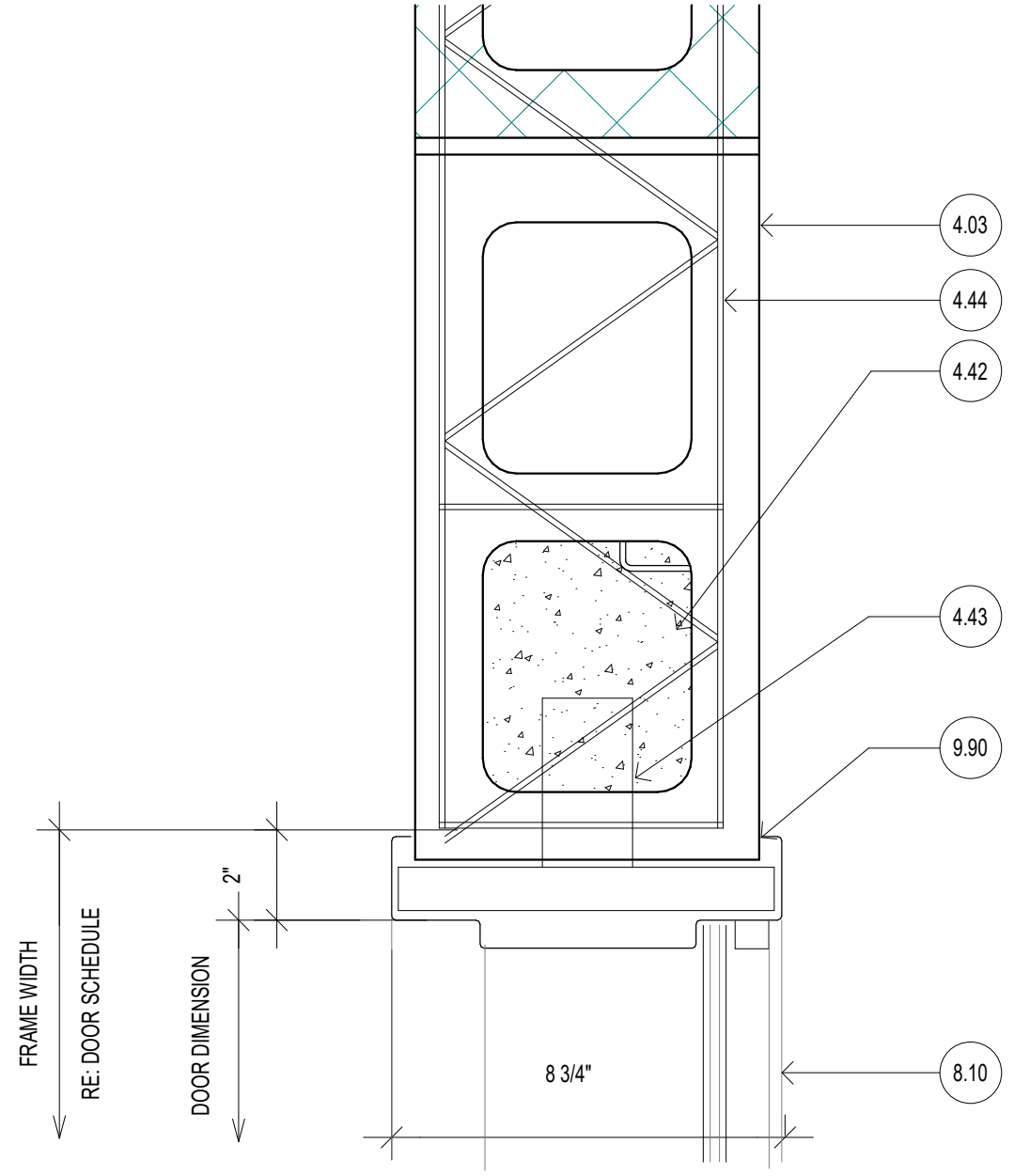
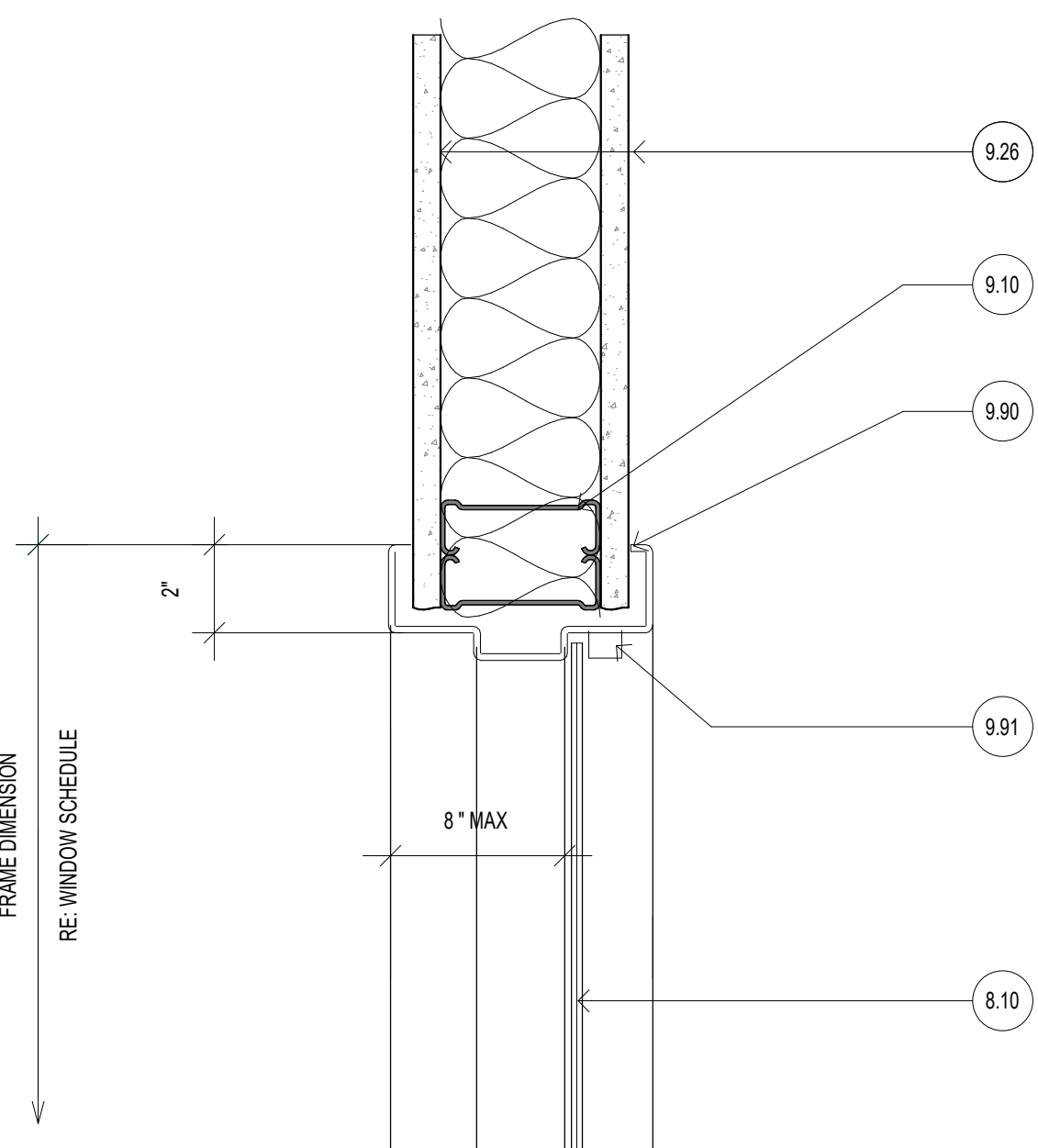
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EXTERIOR WINDOW TYPES

12

INTERIOR STOREFRONT ELEVATIONS

4



H.M. WINDOW JAMB

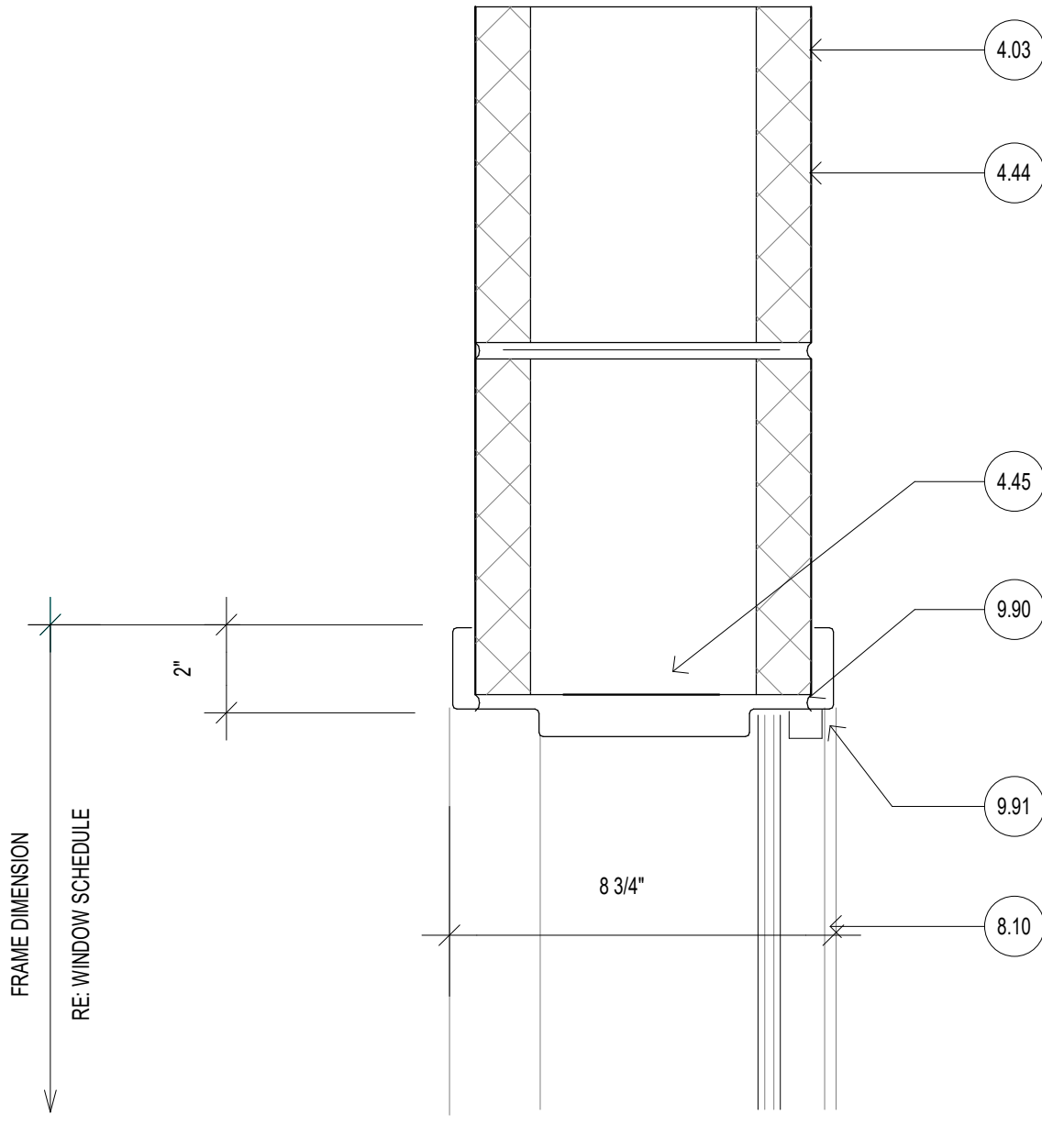
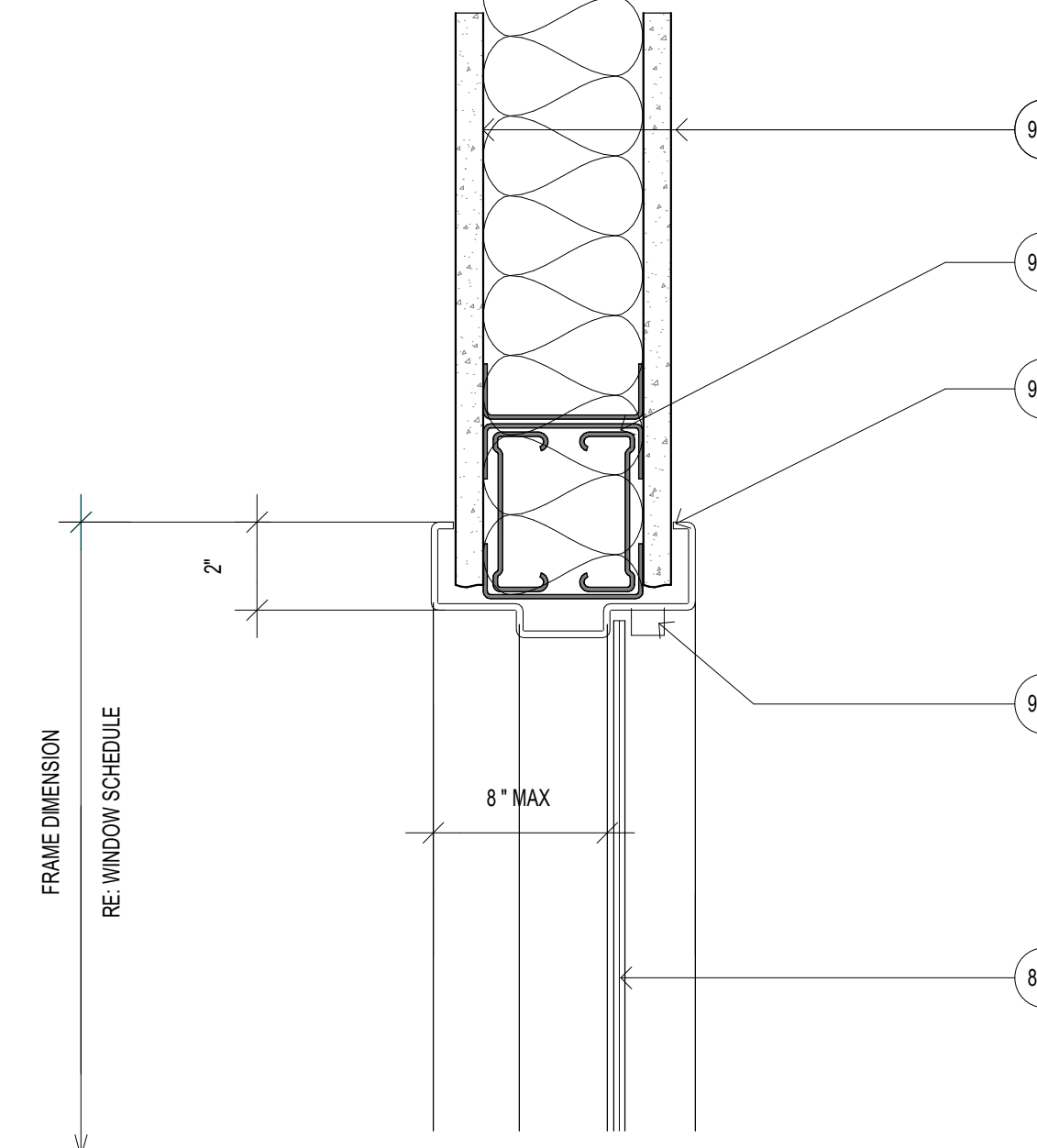
3" = 1'-0"

19

WINDOW JAMB - CMU

3" = 1'-0"

15



H.M. WINDOW HEADER

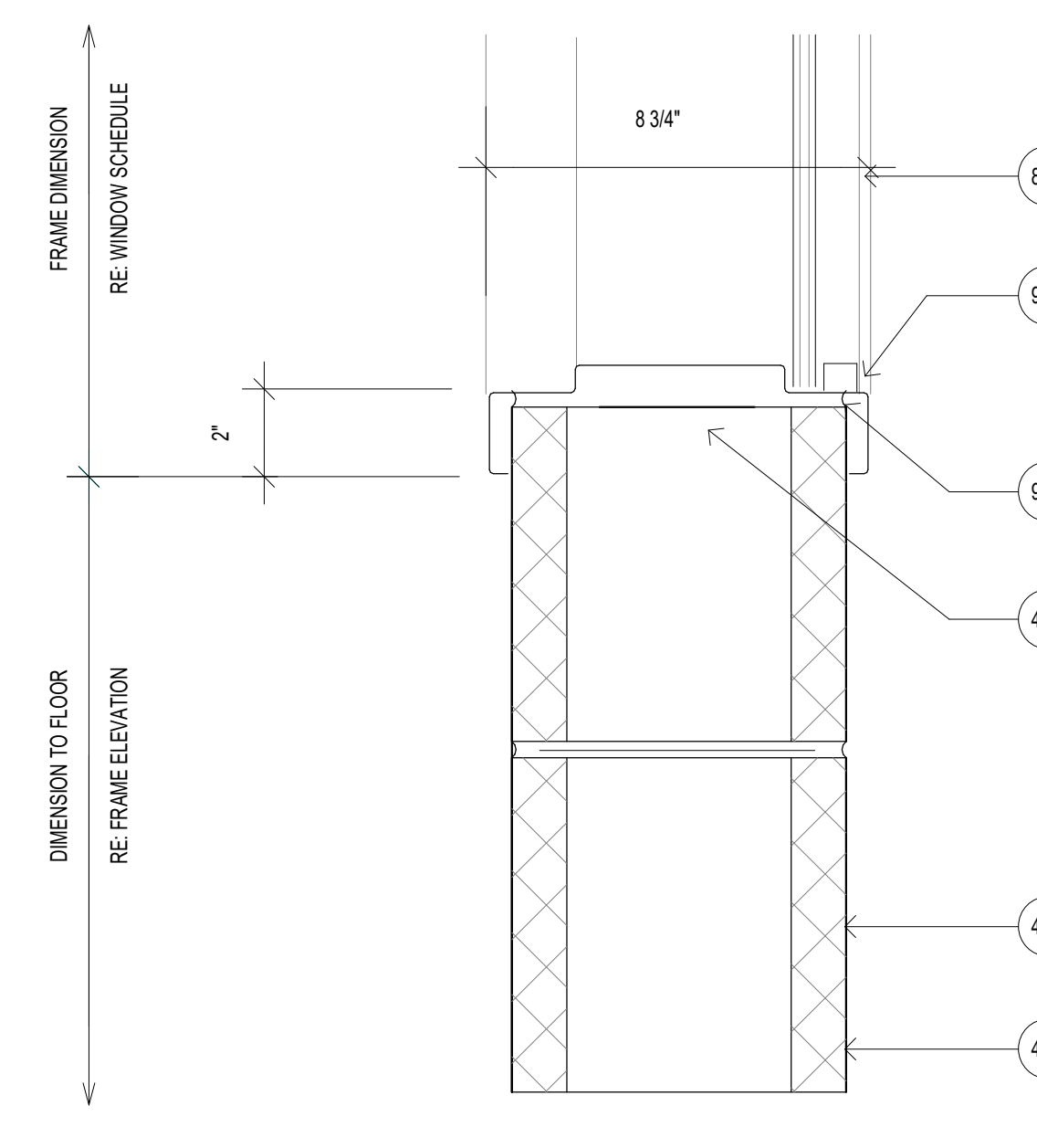
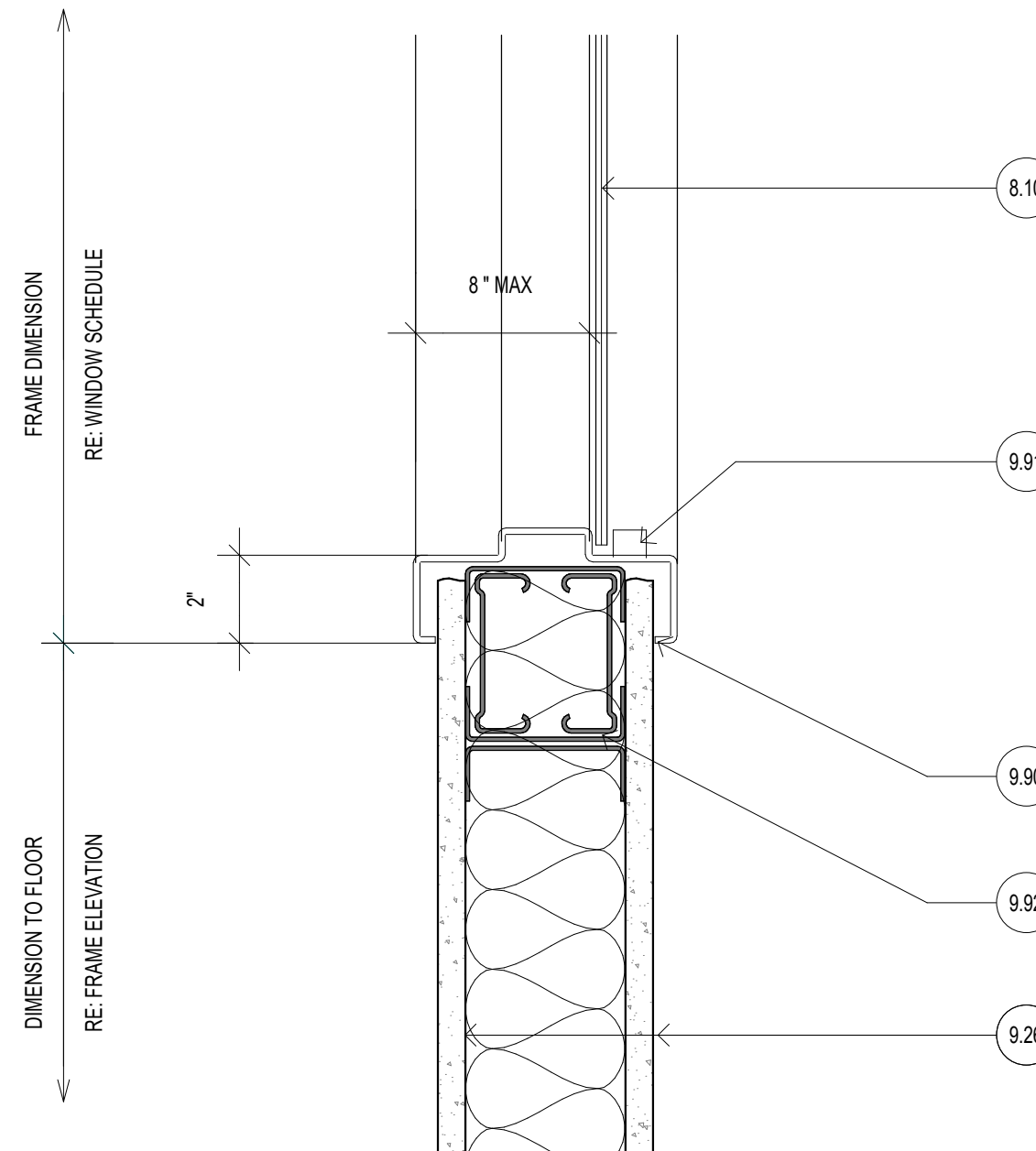
3" = 1'-0"

18

WINDOW HEAD - 8" CMU

3" = 1'-0"

14



H.M. WINDOW SILL

3" = 1'-0"

17

WINDOW SILL - 8" CMU

3" = 1'-0"

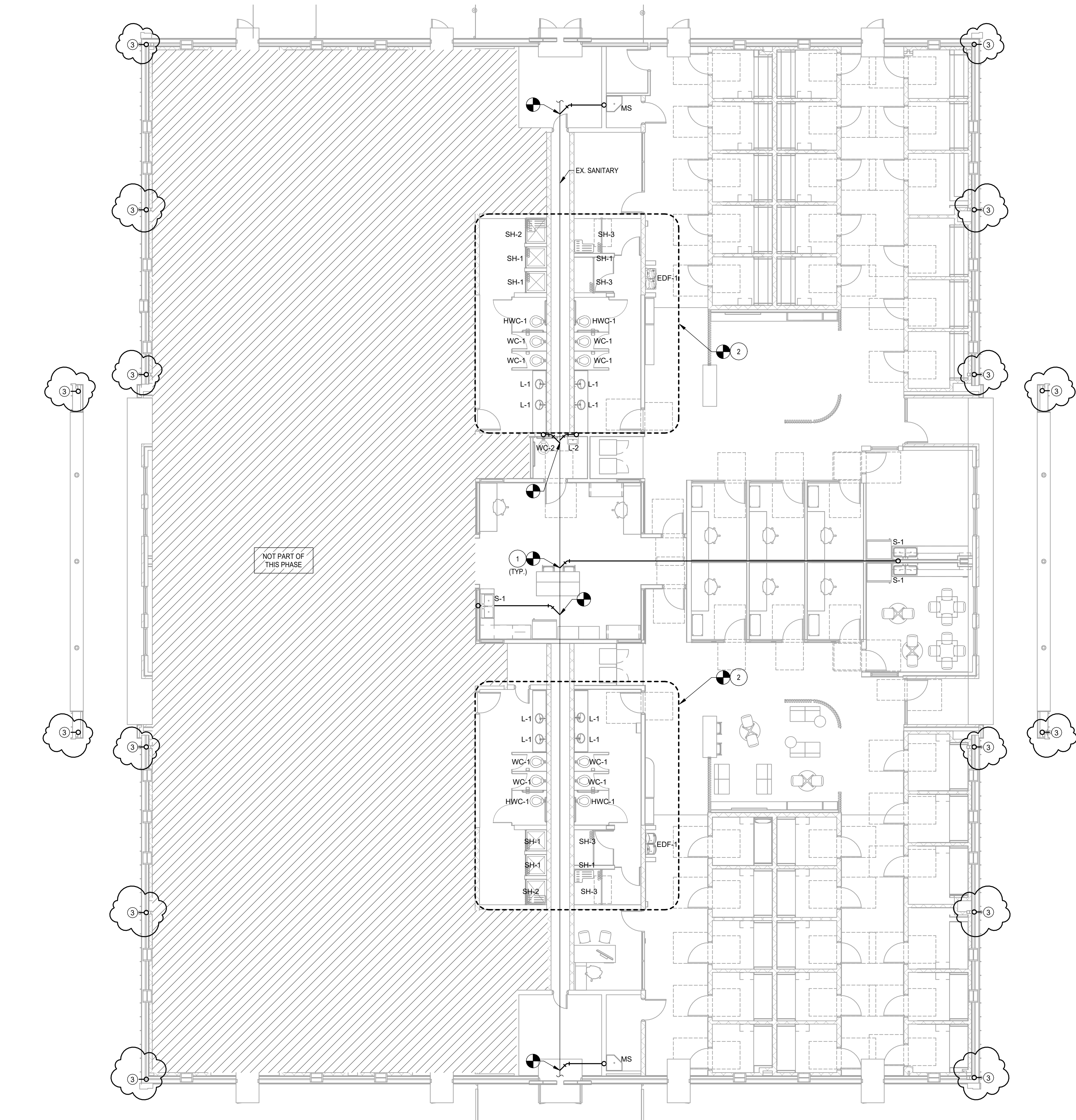
13

| EXTERIOR WINDOW SCHEDULE |        |           |             |             |              |   |
|--------------------------|--------|-----------|-------------|-------------|--------------|---|
| TYPE                     | WIDTH  | HEIGHT    | SILL HEIGHT | HEAD HEIGHT | GLAZING TYPE | COMMENTS  |
| A                        | 1'-10" | 2'-8 3/8" | 4'-0"       | 6'-8 3/8"   | GL.4         | ALUMINUM FIXED WINDOWS.<br>LOCATION AND SIZE TO ALIGN WITH<br>EXTERIOR METAL PANEL. |
| B                        | 4'-0"  | 7'-2"     | 2'-10"      | 10'-0"      | GL.4         |   |
| W                        | 4'-0"  | 8'-0"     | -           | -           | -            | MECHANICAL LOUVERS, REPLACE<br>EXISTING.  |

INTERIOR DOOR - WINDOW FRAME NOTE:  
INSTALL MANUAL ROLLER SHADES AT ALL INTERIOR WINDOWS AND DOOR-WINDOW FRAMES.

| EXTERIOR & INTERIOR GLAZING TYPE SCHEDULE |           |   |      |                |          |   |
|---|-----------|---|------|----------------|----------|---|
| MARK                                      | THICKNESS | TYPE  | SHGC | SHADING COEFF. | U-FACTOR | NOTES   |
| GL1                                       | 1"        | TEMPERED GLASS - INSULATED LOW EMISSION BLUE-TINT GLASS | .24  | .28            | .29      | PPG STARRPHIRE, 1" DOUBLE INSULATED GLAZING SYSTEM (1/4" LOW-E TINTED TEMPERED GLASS, 1/2" AIRSPACE, 1/4" CLEAR TEMPERED GLASS), COLOR TO BE SELECTED BY ARCHITECT. |
| GL2                                       | 1"        | CLEAR TEMPERED  |      |                |          | INTERIOR GLAZING TYPE   |
| GL3                                       | 1"        | FROSTED GLASS   |      |                |          | INTERIOR GLAZING FOR PRIVACY  |
| GL4                                       | 9/16"     | LAMINATED TEMPERED GLASS - INSULATED LOW EMISSION GLASS |      |                |          | REPLACEMENT GLASS LITES, LARGE MISSILE IMPACT RESISTANCE  |

4.03 8" thick standard running bond CMU, re: Finish schedule  
4.42 Fit jamb cells of CMU with masonry grout & provide reinforcing, re: Structural  
4.43 Galvanized masonry anchors  
4.44 Horizontal masonry reinforcement as specified  
4.45 CMU Linlet, re: Structural  
8.10 Scheduled window, re: Window schedule  
8.11 Scheduled window frame, re: Window Schedule  
8.13 Scheduled glazing system, re: Window schedule  
8.29 Saddle  
9.10 Double studs at jamb conditions, typical  
9.28 5/8" gypsum board  
9.90 Caulk both sides  
9.91 Paint applied stops  
9.92 Boxed metal stud



1 PLUMBING PLAN - WASTE  
SCALE: 1/8" = 1'-0"

## GENERAL NOTES (WASTE)

- CONTRACTOR SHALL FIELD VERIFY SEWER UTILITY CONNECTION SIZE, LOCATION, SLOPE, DIRECTION OF FLOW AND INVERT PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL FIELD CONDITIONS.
- UNDERGROUND NON-METALLIC SANITARY DRAINAGE PIPING LARGER THAN 2 INCHES IN DIAMETER SHALL BE INSTALLED WITH INSULATED COPPER TRACER WIRE OR OTHER APPROVED CONDUCTOR LOCATED ADJACENT TO THE PIPING. THE TRACER WIRE SHALL TERMINATE ABOVE THE GROUND AT EACH END OF THE NON-METALLIC PIPING. THE TRACER WIRE SIZE SHALL BE NOT LESS THAN 18 AWG AND THE INSULATION TYPE SHALL BE SUITABLE FOR DIRECT BURIAL.
- ALL PIPE, PIPE FITTINGS, TRAPS, FIXTURES, MATERIAL AND DEVICES USED IN THIS PLUMBING SYSTEM SHALL BE LISTED OR LABELED BY A LISTING AGENCY. EACH LENGTH OF PIPE AND EACH PIPE FITTING, TRAPS, FIXTURE, MATERIAL AND DEVICES USED IN THIS PLUMBING SYSTEM SHALL HAVE CAST, STAMPED, OR INDELIBLY MARKED ON IT THE MAKERS MARK OR NAME. SUCH MARKING IS REQUIRED BY THE APPROVED STANDARD THAT APPLIES.
- ALL FLOOR CLEAN OUTS, FLOOR SINKS, AND FLOOR DRAINS TO SET FLUSH WITH FINISHED FLOOR.
- ALL FLOOR DRAINS AND FLOOR SINKS SHALL HAVE TRAP PRIMERS PROVIDED OR AS DIRECTED BY THE LOCAL JURISDICTION.
- ALL INDIRECT WASTE PIPING INSTALLED WITH A LENGTH GREATER THAN 5'-0" SHALL HAVE A CLEANOUT PROVIDED. MAXIMUM LENGTH OF INDIRECT WASTE LINE SHALL BE 15'-0". FOR EACH REQUIRED EQUIPMENT INDIRECT WASTE PIPING CONNECTION, ROUTE INDIRECT WASTE PIPING FROM EQUIPMENT TO NEAREST FLOOR SINK. INDIRECT WASTE PIPING SHALL BE COPPER TYPE "DWV" WITH SOLDERED END DRAINAGE FITTINGS.
- ALL INDIRECT WASTE PIPING THAT EXCEEDS 30 INCHES IN DEVELOPED LENGTH MEASURED HORIZONTALLY, OR 54 INCHES IN TOTAL DEVELOPED LENGTH SHALL BE TRAPPED.
- ALL INDIRECT WASTES, CONDENSATE AND RELIEF VALVE DRAINS SHALL HAVE CODE APPROVED AIR GAPS.
- EACH VENT SHALL TERMINATE NOT LESS THAN 10 FT FROM OR 3 FT ABOVE ANY WINDOW, DOOR OPENING, AIR INTAKE OR VENT SHAFT, NOR LESS THAN 3 FT IN EVERY DIRECTION FROM ANY LOT LINE (ALLEY & STREET ACCEPTED).
- PROVIDE CHROME PLATED TRAP, TAILPIECE AND ESCUTCHION AT EACH HAND SINK/LAVATORY WITH A DIRECT WASTE CONNECTION.
- ALL FLOOR SINKS SHALL HAVE HALF GRATE UNLESS NOTED OTHERWISE. FLOOR SINKS LOCATED BELOW EQUIPMENT SHALL BE A MINIMUM 50% EXPOSED AND SHALL BE INSTALLED FLUSH WITH FINISHED FLOOR OR AS DIRECTED BY LOCAL JURISDICTION.

## GENERAL NOTES (WATER & GAS)

- CONTRACTOR SHALL FIELD VERIFY EXISTING WATER UTILITY CONNECTION SIZE AND LOCATION PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS.
- PLUMBING CONTRACTOR TO COORDINATE EXACT STREET WATER PRESSURE AND NOTIFY ENGINEER OF ANY DISCREPANCIES. CONTRACTOR SHALL PROVIDE A PRESSURE REDUCING VALVE (PRV) IF STREET WATER PRESSURE EXCEEDS 80 PSI. PRV SHALL BE INSTALLED ON BUILDING SIDE OF WATER METER AND SET TO 80 PSI.
- CONTRACTOR TO FIELD VERIFY EXISTING DOMESTIC WATER SYSTEM IS PROVIDED WITH A REDUCED PRESSURE BACKFLOW PREVENTER (RPBP). IF NOT EXISTING, PROVIDE AN APPROVED RPBP ASSEMBLY SIZED TO MATCH BUILDING WATER METER. INSTALL NEW RPBP BETWEEN THE WATER METER AND THE BUILDING PER LOCAL JURISDICTIONS REQUIREMENTS.
- UNDERGROUND NON-METALLIC WATER AND IRRIGATION SYSTEM PIPING LARGER THAN 2 INCHES IN DIAMETER SHALL BE INSTALLED WITH INSULATED COPPER TRACER WIRE OR OTHER APPROVED CONDUCTOR LOCATED ADJACENT TO THE PIPING. THE TRACER WIRE SHALL TERMINATE ABOVE THE GROUND AT EACH END OF THE NON-METALLIC PIPING. THE TRACER WIRE SIZE SHALL BE NOT LESS THAN 18 AWG AND THE INSULATION TYPE SHALL BE SUITABLE FOR DIRECT BURIAL.
- MAKE SHUTOFF VALVES ACCESSIBLE NEAR THE EQUIPMENT THEY SERVE.
- ALL HAND SINKS/LAVATORIES SHALL BE PROVIDED WITH A THERMO-STATIC MIXING VALVE TO SUPPLY TEMPERED HW, MAX. 110 DEG. F.
- PROVIDE CHROME PLATED STOP VALVES AT EACH REQUIRED EQUIPMENT WATER CONNECTION. PROVIDE ASA COMPLIANT BALL VALVE AT EACH REQUIRED EQUIPMENT GAS CONNECTION.
- ALL POTABLE WATER OUTLETS WITH HOSE ATTACHMENTS AND HOSE BIBBS SHALL BE PROTECTED FROM CROSS CONNECTION W/ APPROVED BACKFLOW PREVENTION DEVICES.
- MINIMUM DEPTH OF GAS PIPING TO BE 24" BELOW GRADE. COORDINATE WITH LOCAL GAS COMPANY.
- GAS PIPING SHALL NOT BE INSTALLED IN OR ON THE GROUND UNDER ANY BUILDING.
- GAS PIPING SHALL NOT BE RUN IN HOLLOW CORE OF BLOCK.
- PROVIDE SHUT-OFF COCK, UNION, AND 6" LONG DIRT LEG WITH CAP AT EACH GAS LINE DROP TO APPLIANCE.
- DO NOT USE FLEXIBLE PIPE CONNECTIONS TO EQUIPMENT.
- ALL GAS PIPING UNDER ASPHALT OR CONCRETE PAVING ADJOINING BUILDING MUST BE SLEEVED IN GAS TIGHT VENTED PIPE IN ACCORDANCE WITH LOCAL GAS CODE.
- ALL GAS PIPING MATERIALS, VALVES, FITTINGS, INSTALLATION AND TESTING SHALL COMPLY WITH LOCALLY ACCEPTED PLUMBING CODE AND GAS COMPANY REGULATIONS.
- VERIFY ALL GAS BTU/H INPUTS WITH ACTUAL BTU/H INPUT OF APPLIANCE SUPPLIED.
- A BUILDING SHUT OFF VALVE SHALL BE INSTALLED ON MAIN GAS LINE AT GAS METER.

## KEYED NOTES

- CONNECT NEW WASTE LINE TO EXISTING 4" WASTE LINE BELOW FLOOR AT THIS LOCATION. FIELD VERIFY EXACT SIZE, LOCATION, SLOPE, DIRECTION OF FLOW AND INVERT PRIOR TO INSTALLATION.
- EXISTING PLUMBING FIXTURES TO BE REPLACED AT SAME LOCATION. RE-CONNECT PLUMBING LINES. FIELD VERIFY EXACT LOCATION.
- TERMINATE ROOF DRAIN LINES THROUGH WALL WITH BRONZE DOWNSPOUT NOZZLE, JR SMITH 1770 OR EQUAL. SEE CIVIL DRAWINGS FOR CONTINUATION.

## JC DIVERSION CENTER RENOVATION

3890 FM3514, BEAUMONT, TX 77705

B/A Project No.: 23141

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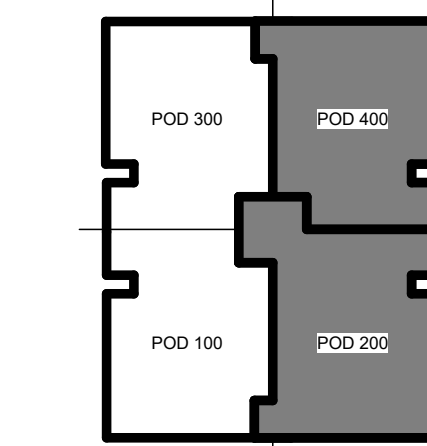
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PLUMBING PLAN - WASTE

Scale: AS NOTED

**P1.1**

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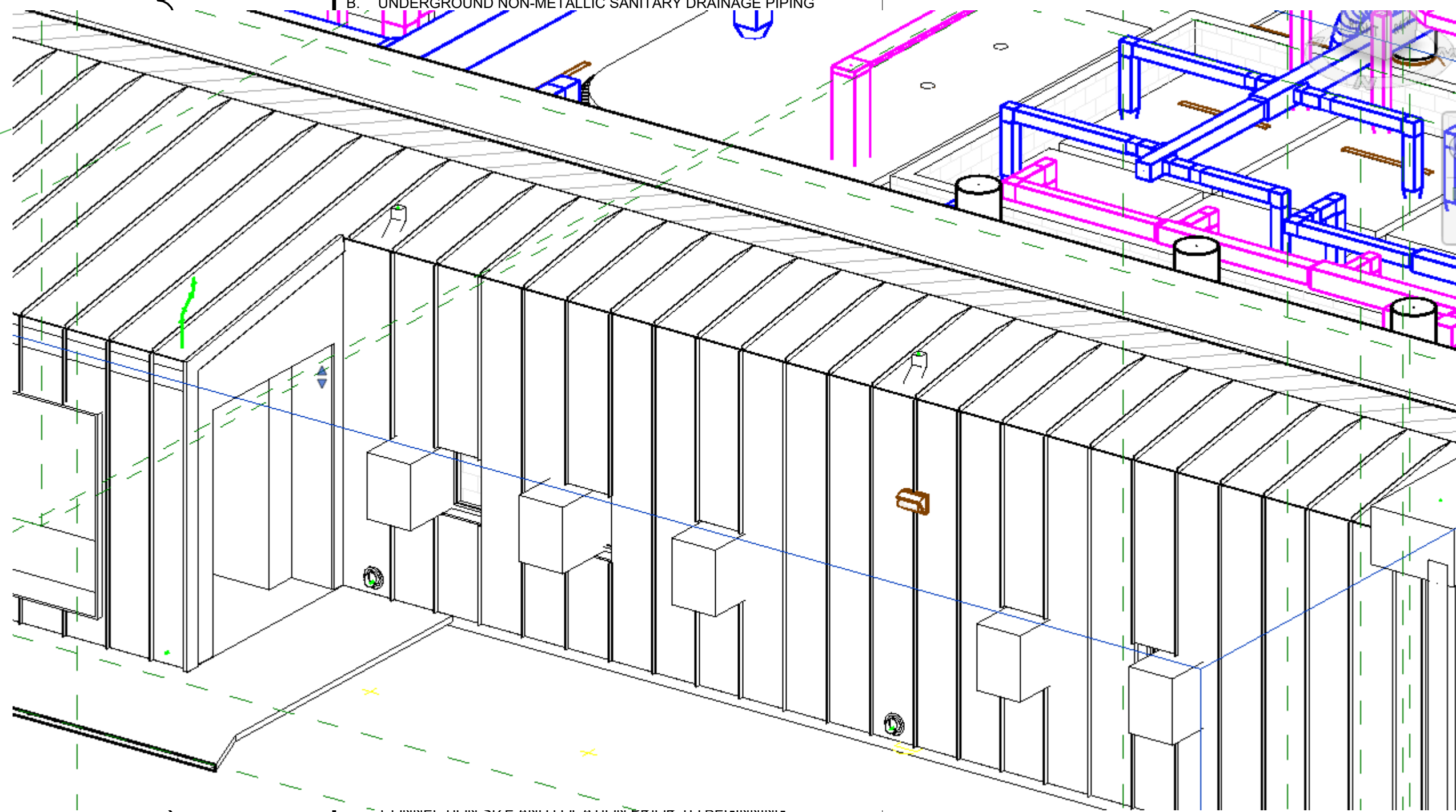


GENERAL NOTES (WASTE)

- A. CONTRACTOR SHALL FIELD VERIFY SEWER UTILITY CONNECTION SIZE, LOCATION, SLOPE, DIRECTION OF FLOW AND INVERT PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL FIELD CONDITIONS.
- B. UNDERGROUND NON-METALLIC SANITARY DRAINAGE PIPING

JC DIVERSION CENTER RENOVATION

3890 FM3514, BEAUMONT, TX 77705

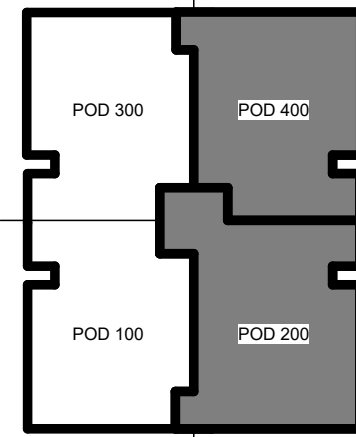


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PLUMBING ROOF PLAN

Scale: AS NOTED

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1 PLUMBING ROOF PLAN  
1/8" = 1'-0"