



JEFFERSON COUNTY PURCHASING DEPARTMENT
Deborah L. Clark, Purchasing Agent

1149 Pearl Street
1st Floor, Beaumont, TX 77701

OFFICE MAIN: (409) 835-8593
FAX: (409) 835-8456

Addendum to IFB

IFB NUMBER: IFB 24-062/MR

IFB TITLE: Jefferson County Diversion Center Renovation

IFB DUE BY: **11:00 am CT, Wednesday, November 13, 2024**

ADDENDUM NO.: 1

ISSUED (DATE): November 1, 2024

To Bidder: This Addendum is an integral part of the IFB package under consideration by you as a Bidder in connection with the subject matter herein identified. Jefferson County deems all sealed bids to have been proffered in recognition and consideration of the entire IFB Specifications Package – *including all addenda*. For purposes of clarification, **receipt of this present Addendum by a Bidder should be evidenced by returning it (signed) as part of the Bidder's sealed bid submission**. If the bid submission has already been received by the Jefferson County Purchasing Department, Bidder should return this addendum in a separate sealed envelope, clearly marked with the IFB Title, IFB Number, and IFB Opening Date and Time, as stated above.

Reason for Issuance of this Addendum:

- 1. Vendor Questions**
- 2. Updated Scope of Work & Updated Project Drawings**
- 3. A secondary walk-through has been scheduled for Wednesday, November 6, 2024, at 2:00 pm at the Diversion Center Site Location located at 3890 FM 3514, Beaumont, Texas 77705**

The information included herein is hereby incorporated into the documents of this present bid matter and supersedes any conflicting documents or portion thereof previously issued.

Receipt of this Addendum is hereby acknowledged by the undersigned Respondent:

ATTEST:

Authorized Signature (Respondent)

Witness

Title of Person Signing Above

Witness

Typed Name of Business or Individual

Approved by _____ Date: _____

Address



JEFFERSON COUNTY PURCHASING DEPARTMENT
Deborah L. Clark, Purchasing Agent

1149 Pearl Street
1st Floor, Beaumont, TX 77701

OFFICE MAIN: (409) 835-8593
FAX: (409) 835-8456

1. See Brave Addendum 1 Attachment beginning on page 3 of this addendum for vendor questions, updated scope of work and updated project drawings.



ADDENDUM # 01

IFB 24-062/MR Jefferson County Diversion Center Renovation

B/A No. 23141

Issue Date: 11/01/2024

Notice:

- Receipt of this Addendum shall be acknowledged on the Bid Form.
- This Addendum forms part of the Contract Documents for the above referenced project and shall be incorporated integrally therewith.
- Bidder shall make necessary adjustments and submit his/her proposal with full knowledge of all modifications, clarifications, and supplemental data included therein. Where provisions of the following supplemental data differ from those of the original Contract Documents, this addendum shall govern and take precedence.
- Identified items revised on the Drawings are designated by a cloud line surrounding the revised section of the drawing and a delta (Δ) symbol with the corresponding revision number.
- Items revised in the Project Manual are shown in bold AND italicized.

Modifications:

A. Owner Requested changes to Bidding Information (Demolition Work allocation)

1. Mold Remediation demolition scope has been modified, so Demolition required by GC has been reduced. Listed below are items allocated to remediation vs Renovation GC. Sheet notes on D.101, D.110, D.111, D.121 and D.125 revised.

Response:

Mold Remediation and Interior Demolition Letter for more information

Renovation GC Demolition scope of work (in Contract)

- a) All Interior Door Frames to be demolished for new door frames and doors.
- a) All exterior doors and frames to be demolished as shown in the drawings.
- b) All CMU wall and interior dry wall to be demolished as shown in drawings.
- c) Existing ductwork removal by remediation contractor may leave holes in the wall of the mechanical room/mezzanine floor or other spaces that needs to be patched and repaired.
- d) Exterior soffit at entry canopy and exterior walls to be demolished as show in the drawings.
- e) Existing roof patching at rusted locations to be removed and patched.

4200 Montrose Blvd.
Suite 400
Houston, TX 77006

713.524.5858

bravearchitecture.com

The logo features a teal-colored diagonal line that starts from the bottom left and extends to the right, ending under the letter "e" in the word "architecture". The word "architecture" is written in a large, bold, black sans-serif font, with the "a" and "c" partially cut off by the teal line.

**Jefferson County Diversion Center Renovation
Addendum 01**

B. Changes to Bidding Information (questions & clarifications): RFIs

1. Daniels Building and Construction Inc Question 1 - Waste Management has been specified. Will this be a requirement?

Response: Waster Management can be removed from the scope of work however GC is responsible for disposing construction waste as required for Development Permit and approved by Environmental Control. A copy of Development Permit Application is added in the specifications.

2. Daniels Building and Construction Inc Question 2 - Is there certain measured lengths / profile for the tubular lights?

Response: This item requires field verification of lengths and profiles. Idea is to replace the existing deteriorated daylighting devices with new. As per owner provided existing drawings the length ranges between 6' to 10' for a tubular light connection. There are total of 6 such devices in each pod.

3. Daniels Building and Construction Inc Question 3 - There is a specification for automated external defibrillators. Is this owner furnished for the maintenance and yearly calibration needs? If not, how many are required?

Response: No AED required. Spec Section 10 43 00 is removed in the revised TOC.

4. Daniels Building and Construction Inc Question 4 - A.201 roof detail shows ISO board. What size ISO board is required? See following question.

Response: 4" insulation panel is show in the details. R-Seal 4" panel provides R-30 value. Any equal or better product can be used. Revised Spec Section 07 21 00 is included in this addendum.

5. Daniels Building and Construction Inc Question 5- A.100 notes requirements for roof and wall insulation. ROOFS: ABOVE DECK: R-25ci, METAL BUILDINGS: R-19 + R-11 LS, WALLS, ABOVE GRADE: METAL BUILDING: R13 + R-6.5ci, METAL FRAMED: R-13 + R-5ci. Wall insulation will be no problem since these walls will be exposed and re-built, however with the retrofit of the roof and no demolition of ceilings, access to underside of deck will not be accessible. Will this be achieved above roof with ISO board above existing roof panels as shown? If so, please clarify how many layers and what thicknesses? Also, please verify that the ISO will lay on top of the roof hugger brackets with a baring plate?

Response: 4" insulation panel is show in the details. R-Seal 4" panel provides R-30 value. Any equal or better product can be used. Revised Spec Section 07 21 00 is included in this addendum.

6. Daniels Building and Construction Inc Question 6 – A.101 shows slat curtains in each day room with specific measurements for start and stop. It is apparent on this drawing that it is not all encompassing. A.120 & A.121 shows these curtains completely encircling the day room. Which is correct?

Response: A.101 shows the full height wood slat panels, while sheet A.120/A.121 shows partial height ceiling mounted overall enclosure. Refer to interior elevations 6,7/A.701 for more information.

7. Daniels Building and Construction Inc Question 7 - Finish schedule describes the W.WD.1 as Wood slat Wall by Slat Solutions. There is no specification to follow for correct product purchase and installation. Please provide clarification.

Response: Revised spec section 06 20 00 provides wood slat wall information.

8. Daniels Building and Construction Inc Question 8 - A.150 finish schedule lists FT.1 & FT.2 with description and thickness (no specifications in spec book). A.151 & A.152 has a note for FT.1 & FT.3 (not 2) in PODS 200 & 400 however there is no designation of where they go, how many or what if any pattern.

Response: FT.1 and FT.2 are the felt products with different colors. Refer to Finish schedule on sheet A.150 for panel thickness and color. See revised sheet A.701 and A.121 for typical size and location.

**Jefferson County Diversion Center Renovation
Addendum 01**

9. Daniels Building and Construction Inc Question 9 - C1.00 shows that a section of the existing perimeter fence is to be removed for new driveway. It is not clear how much, however A.010 shows new fencing on either side of the two buildings drawn. It is assumed that the perimeter fence is to be removed back to both locations. Please clarify this is the case and that both buildings will not be fenced off from the highway.

Response: See revised sheet C1.00

10. Sergio Gomez, Construction Managers of Southeast Texas, LLC Question 1 – Please advise if any other toilet accessories will be required on this project, other than what is shown on plans. Seems like the plans don't show them all.

Response: See revised sheet A.101 and interior elevation sheets for all Toilet accessory locations in POD 200. The same applies to POD 400 Unless noted otherwise.

11. Sergio Gomez, Construction Managers of Southeast Texas, LLC Question 2 – See Spec section 102601 (Wall & Corner Guards) – As no corner guards were found on plans, please advise if any will be required.

Response: See revised sheet A.101 for corner guard locations in POD 200. The same applies to POD 400 unless noted otherwise.

12. Sergio Gomez, Construction Managers of Southeast Texas, LLC Question 3 – See spec section 104300 (Emergency Aid Specialties). As no AED's were located on plans, please advise if any will be required.

Response: No AED required. Spec Section 10 43 00 is removed in the revised TOC.

13. Sergio Gomez, Construction Managers of Southeast Texas, LLC Question 4 – Do you know what type of fire panel is in the location? Also, can the. Branding of the access, cameras, & fire system be provided?

Response (DATACOM): We only have a specific manufacturer/brand for the access control software and door controllers everything else is performance spec. We do provide a list acceptable manufacturer for the rest of the access control, video surveillance and intercom devices. The list of acceptable manufacturers is in the div. 28 specs located here:

Access control: 28 10 00 – Part 2 - 2.1 (Acceptable Manufacturers)

Video Surveillance: 28 23 00 – Part 2 – 2.5 (Acceptable Manufacturers). Please note that all cameras need to be NDA (National Defense Act) Compliant.

Intercom: 28 26 00: 28 26 00 - Part 2 - 2.1 (Acceptable Manufacturers)

14. Sergio Gomez, Construction Managers of Southeast Texas, LLC Question 5 – Can you clarify the height of the rubber base specified?

Response: all rubber bases are 4". Information is revised on sheet A.150.

15. Sergio Gomez, Construction Managers of Southeast Texas, LLC Question 6 – Ceramic Wall Tile is listed on the Finish Schedule, however, it's not shown on the finish plan. Please confirm if there is any wall tile on this project.

Response: All restrooms to have ceramic wall tiles up to height shown in interior elevations. Refer to finish schedule for product information.

16. Sergio Gomez, Construction Managers of Southeast Texas, LLC Question 7 – Floor Transitions are not specified or shown on the plans, please confirm what kind of floor transitions will be desired for this project.

Response: See updated detail 6/A.820 for floor transition schedule.

17. Sergio Gomez, Construction Managers of Southeast Texas, LLC Question 8 – Is the intention to demo all the existing conduit or will there be items to stay as far as demo is concerned?

Response: Mold remediation will clean all affected conduits prior to beginning of renovation demolition work. No intention to keep any existing conduit unless for any special case.

**Jefferson County Diversion Center Renovation
Addendum 01**

18. TxDOT permit approval received with below comments.

Response: *Culvert pipe and/or forms for driveways must be inspected by a TxDOT representative prior to backfilling culverts or pouring concrete. Culverts must have 6:1 sloped safety end sections as per the attached standard sheets and must be enclosed in concrete or an approved stabilized material to prevent erosion. The driveway must be paved or surfaced with an approved stabilized material to prevent tracking mud onto the highway. Before completing the installation of the driveway please give at least a 24-hour notice to our Permit Inspector, Jose Pastrana, so that a site visit can be performed to make sure it is being installed properly. If a lane closure is required, contact the Inspector 72 hours in advance.*

19. Building permit requirements

Response: *GC is responsible for acquiring development permits from Jefferson County and receiving approval from Environmental Control. Any building with living quarters is required by HB2833 to have required inspections as applicable for Renovation project.*

20. Additional Updates

Response:

1. All Exterior Windows to be aluminum framed windows for better thermal performance. Refer to Sheet A.820
2. Retrofit roof edge gutters and internal down spout information provided for accurate pricing. Refer to sheet A.201 and A.611.

C. Changes to the Project Manual/Drawings:

Specifications

Table of Content is updated. Spec Section Waste Management and AED are removed. Spec section Finish Carpentry, Thermal Insulation, Aluminum Windows and Glazing have been revised.

Civil Sheet

Extended fence demo limits and referenced sheet A.010.

Architectural Sheets

BID questions related information provided.

Sheet A.611 Exterior Glazing & Door Details

1. Flexible Flashing to be provided at all windows. Seal top edge of flexible flashing
2. Casing Bead renamed to form
3. Hat channel provided to support metal panels
4. Form-Closure shown at all Metal panel ends. typical detail.
5. Wood blocking extended to the width of the wall at all windows. typical detail.

Plumbing Sheets

Roof drain information added.

**Jefferson County Diversion Center Renovation
Addendum 01**

D. Attachments:

Interior Mold Remediation Demolition scope of work

Specification		Format	Date
Cover page		8½x11	11/01/2024
Table of Content		8½x11	11/01/2024
06 2000	Finish Carpentry	8½x11	11/01/2024
07 2100	Thermal Insulation	8½x11	11/01/2024
08 5113	Aluminum Windows	8½x11	11/01/2024
08 8000	Glazing	8½x11	11/01/2024

Drawing Sheet		Format	Date
G.000	Cover Page	30x42	11/01/2024
G.001	Index and General Information	30x42	11/01/2024
D.101	Demolition – Overall Floor Plan	30x42	11/01/2024
D.110	Demolition – Enlarged Floor Plan POD 200	30x42	11/01/2024
D.111	Demolition – Interior Photos	30x42	11/01/2024
D.121	Demolition – Overall RCP	30x42	11/01/2024
D.125	Demolition – Enlarged RCP POD 200	30x42	11/01/2024
C1.00	Demolition Plan	30x42	11/01/2024
A.100	Overall Floor Plan	30x42	11/01/2024
A.121	Enlarged Reflected Ceiling Plan – POD 200	30x42	11/01/2024
A.150	Finish Schedule	30x42	11/01/2024
A.151	Overall Finish Plan	30x42	11/01/2024
A.152	Enlarged Finish Plan – POD 200	30x42	11/01/2024
A.201	Roof Details	30x42	11/01/2024
A.502	Exterior Wall Sections	30x42	11/01/2024
A.601	Plan Details	30x42	11/01/2024
A.610	Section Details	30x42	11/01/2024
A.611	Exterior Glazing & Door Details	30x42	11/01/2024
A.701	Interior Elevations	30x42	11/01/2024
A.702	Interior Elevations	30x42	11/01/2024
A.820	Typical Door Types, Schedules & Hardware	30x42	11/01/2024
A.840	Glazing Schedule, Frame Types and Interior Glazing Details	30x42	11/01/2024
P1.1	Plumbing Plan – Waste	30x42	11/01/2024
P1.3	Plumbing Roof Plan	30x42	11/01/2024

End of Addendum 01



October 31, 2024

Jefferson County
1149 Pearl Street
Beaumont, Texas 77701
Email: mistey.reeves@jeffcotx.us
Tel: 409-835-8693
Attn: Ms. Mistey Reeves

RE: Mold Remediation and Interior Demolition
Jefferson County Diversion Center
Pods 100, 200, 300, & 400
3890 FM 3514
Beaumont, Texas 77705

Introduction

Please find below the mold remediation and interior demolition scope of work recently removed from the Jefferson County Diversion Center Renovation scope of work. This work is scheduled for areas that include Pods 200 & 400, Control Room, Control Room Restroom, two Plumbing/Mechanical Chases, two Mechanical Rooms, two Mezzanine Mechanical Rooms.

In addition, the county has opted to have mold remediation performed to make safe Pods 100 & 300 to facilitate the fire sprinkler system installation.

Scope of Work – Pods 200/400, et.al.

This work area includes Pods 200 & 400, Control Room, Control Room Restroom, two Plumbing/Mechanical Chases, two Mechanical Rooms, two Mezzanine Mechanical Rooms.

Demolition

1. Remove and dispose of HVAC air handlers, ductwork, makeup air fan, controls, grills, registers, mixing boxes, exhaust ducts and other interior mechanical equipment.
2. Remove and dispose of smoke purge makeup air fan, associated ductwork, and support system.
3. Remove and dispose of gypsum board ceiling/plywood ceiling and support system.
4. Remove and dispose of lay-in ceiling tiles/grid and walls in and around Control Room and associated restroom.
5. Remove and dispose of raised floor and associated supports in Control Room, associated restroom, and connected platform in Pods 200/400 & Pods 100/300.

6. Remove and dispose of steps to raised floor and associated supports in Pods 200/400 & Pods 100/300.
7. Remove and dispose of carpet/glue and other floor finishes.
8. Remove and dispose of interior doors including hinges. Door frames are to remain in place.
9. Remove and dispose of washing machines, dryers, and associated hardware.
10. Remove and dispose of light fixtures (including whips back to junction boxes), wall ornaments, cabinetry, desks, and millwork including Control Room and Pods 200 & 400.

Remediation

11. Clean, biocide, and sanitize ceiling system hanger wires extending to roof deck for possible use by others.
12. Clean, biocide, and sanitize all walls and floors in Pods 200 & 400 and in mechanical room, mechanical room mezzanine, plumbing mechanical chase. Leave in place, walls to be removed will be done by others.
13. Clean, biocide, and sanitize plumbing equipment/lines, mop sink, gas lines, tanks, hot water heaters throughout including mechanical room, mezzanine, and plumbing/mechanical chase. Leave in place, removed by others.
14. Clean, biocide, and sanitize all exterior doors in Pods 200 & 400 and interior control room door leading to Pods 100 & 300. Leave in place; to be removed by others.
15. Clean, biocide, and sanitize louvers at mezzanine mechanical rooms. Leave in place.
16. Clean, biocide, and sanitize cell door control panels, electronic boxes, solid conduit electrical wiring, electrical data equipment. Leave in place, to be removed by others.
17. Clean, biocide, and sanitize door frames, cell beds/tables, eating tables, windows, mirrors, and restroom lavatories, toilets, showers, and restroom accessories. Leave in place, to be removed by others.
18. Clean, biocide, and sanitize structure beams, columns, and insulation backing motors. Leave in place.
19. Clean, biocide, and sanitize fire alarm boxes, security alarm boxes, electrical boxes, motors, railings, vertical ladders, conduit, plumbing lines, and fire extinguishers. Leave in place, if possible.
20. Clean, biocide, and sanitize tubular daylighting device, and SAVE FOR REUSE. Leave in place, if possible.
21. Maintain differential pressure utilizing negative air machines equipped with HEPA filters continuously throughout the project duration.
22. Conduct HEPA filter air scrubbing during cleaning/removal and for a minimum of 48 hours after cleaning and prior to clearance.

Scope of Work – Pods 100/300

This work area includes Pods 100 & 300.

Remediation Only

1. Clean, biocide, and sanitize all exposed surfaces including ceilings, walls, floors, and doors.
2. Clean, biocide, and sanitize exposed surfaces of cell beds, windows, mirrors, HVAC equipment/ducts/registers, restroom lavatories/toilets/showers/accessories, plumbing lines, washing machine/accessories.
3. Clean, biocide, and sanitize all remaining items not listed above located within Pods 100/300.
4. Maintain differential pressure utilizing negative air machines equipped with HEPA filters continuously throughout the project duration.
5. Conduct HEPA filter air scrubbing during cleaning/removal and for a minimum of 48 hours after cleaning and prior to clearance.

Should you have any questions, please contact me at (409) 632-2601. Thank you for the opportunity to be of service to you on this project.

Sincerely,
Honesty Environmental Services, Inc.



Daniel R. Ward
Vice President



Jefferson County Diversion Center Renovation

PO 091688 / B/A Project No. 23141

3890 FM3514
Beaumont, TX 77705

Specifications

Issued for:
Addendum # 01

November 01, 2024

BRAVE / architecture

DOCUMENT 00 0110
TABLE OF CONTENTS

NUMBER **TITLE**

DIVISION 00 – PROCUREMENT AND CONTRACTING REQUIREMENTS

By Owner

COVER PAGE

00 0010 TABLE OF CONTENTS
00 0020 PROFESSIONAL SEAL

REPORTS

00 0030 Existing Conditions – Building Envelop Aug, 2024
00 0040 Mold Assessment Report May 2024
00 0050 Geotechnical Investigation July 2024

DIVISION 01 – GENERAL REQUIREMENTS

01 1000 SUMMARY
01 2000 PRICE AND PAYMENT PROCEDURES
01 2100 ALLOWANCES
01 2200 UNIT PRICES
01 2300 ALTERNATES
01 2500 SUBSTITUTION PROCEDURES
01 3000 ADMINISTRATIVE REQUIREMENTS
01 3100 REQUESTS FOR INTERPRETATION
01 3250 CONSTRUCTION PROGRESS SCHEDULE
01 3553 SECURITY PROCEDURES
01 4000 QUALITY REQUIREMENTS
01 4100 REGULATORY REQUIREMENTS
01 4216 DEFINITIONS
01 4523 TESTING AND INSPECTING SERVICES (D+A STRUCTURE)
01 4533 CODE-REQUIRED SPECIAL INSPECTIONS
01 5000 TEMPORARY FACILITIES AND CONTROLS
01 5713 TEMPORARY EROSION AND SEDIMENT CONTROL
01 5719 TEMPORARY ENVIRONMENTAL CONTROLS
01 6000 PRODUCT REQUIREMENTS
01 6001 SUBSTITUTION REQUEST FORMS Bidding Phase
01 6003 SUBSTITUTION REQUEST FORMS Post Bid
01 6116 VOLATILE ORGANIC COMPOUND (VOC) CONTENT RESTRICTIONS
01 6116.01 ACCESSORY MATERIAL VOC CONTENT CERTIFICATION FORM
01 7000 EXECUTION AND CLOSEOUT REQUIREMENTS
01 7123 FIELD ENGINEERING
01 7419 CONSTRUCTION WASTE MANAGEMENT AND DISPOSAL

- 01 7610 TEMPORARY PROTECTIVE COVERINGS
- 01 7800 CLOSEOUT SUBMITTALS
- 01 7900 DEMONSTRATION AND TRAINING
- 01 9113 GENERAL COMMISSIONING REQUIREMENTS

DIVISION 02 -- EXISTING CONDITIONS

- 02 4100 DEMOLITIONS
- 02 4117 CIVIL DEMOLITIONS (D+A CIVIL)

DIVISION 03 -- CONCRETE

- 03 0580 UNDER SLAB VAPOR BARRIER RETARDER (D+A STRUCTURE)
- 03 2000 CONCRETE REINFORCING (D+A STRUCTURE)
- 03 2100 CONCRETE REINFORCEMENT (D+A CIVIL)
- 03 3000 CAST IN PLACE CONCRETE (D+A STRUCTURE)
- 03 5400 SELF-LEVELING UNDERLayment

DIVISION 04 -- MASONRY

- 04 0100 MAINTENANCE OF MASONRY
- 04 0511 MASONRY MORTARING AND GROUTING
- 04 2001 BRICK VENEER
- 04 2200 CONCRETE UNIT MASONRY

DIVISION 05 -- METALS

- 05 4000 COLD FORMED FRAMING
- 05 5000 METAL FABRICATIONS

DIVISION 06 -- WOOD, PLASTICS, AND COMPOSITES

- 06 1000 ROUGH CARPENTRY
- 06 2000 *FINISH CARPENTRY***
- 06 4100 ARCHITECTURAL WOOD CASEWORK

DIVISION 07 -- THERMAL AND MOISTURE PROTECTION

- 07 0553 FIRE AND SMOKE ASSEMBLY IDENTIFICATION
- 07 2100 *THERMAL INSULATION***
- 07 2500 WEATHER BARRIERS
- 07 4113 METAL ROOF PANELS
- 07 4213 METAL WALL PANELS
- 07 4646 FIBER CEMENT SIDING
- 07 6200 SHEET METAL FLASHING AND TRIM
- 07 7100 ROOF SPECIALTIES
- 07 7123 MANUFACTURED GUTTERS AND DOWNSPOUTS
- 07 7200 ROOF ACCESSORIES

07 8400 FIRESTOPPING
07 9200 JOINT SEALERS

DIVISION 08 -- OPENINGS

08 1113 HOLLOW METAL DOORS AND FRAMES
08 1416 FLUSH WOOD DOORS
08 3100 ACCESS DOORS AND PANELS
08 4313 ALUMINUM-FRAMED STOREFRONTS
08 5113 ALUMINUM WINDOWS
08 6233 TUBULAR SKYLIGHTS
08 7100 DOOR HARDWARE (AA)
08 8000 GLAZING
08 8300 MIRRORS
08 8723 SAFETY AND SECURITY FILMS
08 9100 LOUVERS

DIVISION 09 -- FINISHES

09 2116 GYPSUM BOARD ASSEMBLIES
09 2236 METAL LATH
09 2400 PORTLAND CEMENT PLASTER
09 5100 ACOUSTICAL CEILINGS
09 6500 RESILIENT FLOORING
09 6700 FLUID-APPLIED EPOXY FLOORING
09 9113 EXTERIOR PAINTING
09 9123 INTERIOR PAINTING
09 9725 CONCRETE FLOOR SEALER

DIVISION 10 -- SPECIALTIES

10 1400 TRAFFIC AND PARKING SIGNAGE
10 2113.13 METAL TOILET COMPARTMENTS
10 2601 WALL AND CORNER GUARDS
10 2800 TOILET, BATH AND LAUNDRY ACCESSORIES
10 4116 EMERGENCY KEY BOX
~~10 4300 EMERGENCY AID SPECIALTIES~~
10 4400 FIRE PROTECTION SPECIALTIES
10 7316 PREMANUFACTURED ALUMINUM CANOPIES

DIVISION 12 -- FURNISHINGS

12 2400 MANUAL ROLLER SHADES
12 3600 COUNTERTOPS
12 9300 SITE FURNISHINGS (KW)

DIVISION 13 -- SPECIAL CONSTRUCTION

NOT USED

DIVISION 14 -- CONVEYING EQUIPMENT

NOT USED

DIVISION 22 – PLUMBING (ASEI)

- 22 0518 ESCUTCHEONS FOR PLUMBING PIPING
- 22 0519 METERS AND GAGES FOR PLUMBING PIPING
- 22 0523 GENERAL DUTY VALVES FOR PLUMBING PIPING
- 22 0529 HANGERS AND SUPPORTS FOR PLUMBING PIPING AND EQUIPMENT
- 22 0553 IDENTIFICATION FOR PLUMBING PIPING AND EQUIPMENT
- 22 0719 PLUMBING PIPING INSULATION
- 22 1116 DOMESTIC WATER PIPING
- 22 1119 DOMESTIC WATER PIPING SPECIALTIES
- 22 1123 DOMESTIC WATER PUMPS
- 22 1316 SANITARY WASTE & VENT PIPING
- 22 1319 SANITARY WASTE PIPING SPECIALTIES
- 22 3300 ELECTRIC, DOMESTIC-WATER HEATERS
- 22 4216 PLUMBING FIXTURES
- 22 4713 DRINKING FOUNTAINS
- 22 13 01 SANITARY SEWERAGE (D+A CIVIL)

DIVISION 23 – HEATING, VENTILATION AND AIR CONDITIONING (ASEI)

- 23 05 13 COMMON MOTOR REQUIREMENTS FOR HVAC EQUIPMENT
- 23 05 29 HANGERS AND SUPPORTS FOR HVAC PIPING AND EQUIPMENT
- 23 05 48 VIBRATION CONTROLS FOR HVAC
- 23 05 53 IDENTIFICATIONS FOR HVAC PIPING AND EQUIPMENT
- 23 05 93 TESTING, ADJUSTING, AND BALANCING FOR HVAC
- 23 0719 HVAC PIPING INSULATION
- 23 09 00 INSTRUMENTATION AND CONTROL FOR HVAC
- 23 11 23 FACILITY NATURAL-GAS PIPING
- 23 23 00 REFRIGERANT PIPING
- 23 31 13 METAL DUCTS
- 23 33 00 AIR DUCT ACCESSORIES
- 23 33 13 COUNTERBALANCED BACKDRAFT DAMPERS
- 23 37 13 DIFFUSERS, REGISTERS, AND GRILLES
- 23 81 26 SPLIT-SYSTEM AIR-CONDITIONERS.DOC
- 23 82 19 FAN COIL UNITS

DIVISION 26 – ELECTRICAL (ASEI)

- 26 0050 ELECTRICAL GENERAL PROVISIONS
- 26 0051 SUBMITTALS
- 26 0126 ELECTRICAL TESTING
- 26 0519 LOW-VOLTAGE ELECTRICAL POWER CONDUCTORS AND CABLES
- 26 0526 GROUNDING AND BONDING FOR ELECTRICAL SYSTEMS
- 26 0529 HANGERS AND SUPPORTS FOR ELECTRICAL SYSTEMS
- 26 0533 RACEWAYS AND BOXES FOR ELECTRICAL SYSTEMS
- 26 0543 UNDERGROUND DUCTS AND RACEWAYS FOR ELECTRICAL SYSTEMS
- 26 0544 SLEEVES AND SLEEVE SEALS FOR ELECTRICAL RACEWAYS AND CABLING
- 26 0548 VIBRATION AND SEISMIC CONTROLS FOR ELECTRICAL SYSTEMS
- 26 0553 IDENTIFICATION FOR ELECTRICAL SYSTEMS
- 26 0573 SHORT CIRCUIT ANALYSIS AND COORDINATION STUDY
- 26 0923 LIGHTING CONTROL DEVICES
- 26 2416 PANELBOARDS
- 26 2726 WIRING DEVICES
- 26 2813 FUSES
- 26 2816 ENCLOSED SWITCHES AND CIRCUIT BREAKERS
- 26 3213 PACKAGED ENGINE GENERATOR SYSTEM
- 26 5100 INTERIOR LIGHTING
- 26 5600 EXTERIOR LIGHTING

DIVISION 27 – COMMUNICATIONS (DATACOM)

- 27 0000 COMMUNICATIONS
- 27 0526 GROUNDING AND BONDING
- 27 1500 HORIZONTAL CABLING

DIVISION 28 – ELECTRONIC SAFETY AND SECURITY (DATACOM)

- 28 0000 ELECTRONIC SECURITY
- 28 1000 ACCESS CONTROL
- 28 2300 VIDEO SURVEILLANCE
- 28 2600 INTERCOM

DIVISION 31 – EARTHWORK (D+A CIVIL)

- 31 0000 EARTHWORK
- 31 0000.01 EARTHWORK UNDER BUILDING PAD (D+A STRUCTURE)
- 32 0516 UTILITY STRUCTURES
- 31 1000 SITE CLEANING (KW)
- 31 1013 SITE PREPARATION (KW)
- 31 1100 CLEANING AND GRUBBING
- 31 2300 GRADING EXCAVATION AND FILL
- 31 2500 EROSION AND SEDIMENTATION CONTROL
- 31 6329 DRILLED CONCRETE PIERS AND SHAFTS (D+A STRUCTURE)

DIVISION 32 – EXTERIOR IMPROVEMENTS

- 32 1313 PORTLAND CEMENT CONCRETE PAVING (D+A CIVIL)
- 32 1319 CONCRETE PAVEMENT JOINTS (D+A CIVIL)
- 32 1273.19 CAST IN PLACE CONCRETE (D+A CIVIL)
- 32 1200 AGGREGATE SURFACING (KW)
- 32 1613 CONCRETE CURBS AND CURB AND GUTTER (D+A CIVIL)
- 32 3119 DECORATIVE METAL FENCES AND GATES
- 32 4116 LANDSCAPE DRAINAGE (KW)
- 32 8400 PLANTING IRRIGATION (KW)
- 32 91 19 LANDSCAPING GRADING (KW)
- 32 9200 LAWNS AND GRASSES (KW)
- 32 9300 EXTERIOR PLANTS (KW)
- 32 9313 TREES SHRUBS AND GROUNDCOVER (KW)
- 32 9400 LANDSCAPE PLANTIN ACCESSORIES (KW)
- 32 9813 LANDSCAPE ESTABLISHMENT PERIOD (KW)

DIVISION 33 – UTILITIES (D+A CIVIL)

- 33 0528 TRENCHING AND BACKFILLING FOR UTILITIES
- 33 3100 SANITARY UTILITY SEWERAGE PIPING
- 33 4100 STORM SEWAGE SYSTEM

END OF TABLE OF CONTENTS

SECTION 06 2000
FINISH CARPENTRY

PART 1 GENERAL

1.1 SECTION INCLUDES

- A. Finish carpentry items.
- B. Wood casings and moldings.
- C. Hardware and attachment accessories.
- D. Wood slat room dividers.

1.2 SUBMITTALS

- A. See Section 01 3000 – Administrative Requirements for submittal procedures.
- B. Product Data.
- C. Shop Drawings: Indicate materials, component profiles, fastening methods, jointing details, accessories, to a minimum scale of 1-1/2 inch to 1 ft.

1.3 QUALITY ASSURANCE

- A. Perform work in accordance with AWI Architectural Woodwork Quality Standards Illustrated, Custom grade at clubhouse and Economy grade elsewhere.
- B. Fabricator Qualifications: Company specializing in fabricating the products specified in this section with minimum three years of documented experience.

1.4 DELIVERY, STORAGE, AND HANDLING

- A. Protect work from moisture damage.

1.5 PROJECT CONDITIONS

- A. Sequence the installation to ensure utility connections are achieved in an orderly and expeditious manner.
- B. Coordinate the work with plumbing rough-in, electrical rough-in, and installation of associated and adjacent components.

PART 2 PRODUCTS

2.1 LUMBER MATERIALS

- A. Softwood Lumber: Southern Pine species, plain sawn, maximum moisture content of 6 percent; with vertical grain, of quality suitable for transparent finish.
- B. Product made without formaldehyde and complying with ANSI A208.2 Grade MD.

2.2 SHEET MATERIALS

- A. Softwood Plywood Not Exposed to View: Any face species, veneer core; PS 1 Grade A-B; glue type as recommended for application.
- B. Softwood Plywood Exposed to View: Face species as indicated, plain sawn, medium density fiberboard core; PS 1 Grade A-B; glue type as recommended for application.
- C. Softwood Plywood: PS 1 Grade A-B; Veneer core; Southern Pine face species, plain sliced cut.

2.3 WOOD SLAT ROOM DIVIDERS

- A. Manufacturer: Slat Solution; www.slatsolution.com
- B. Basis of Design: Design is based on "Maple Slat Wood Room Dividers" from Slat Solution.
- C. Plank size: 105" x 4" x 2"
- D. Plank thickness: 4"
- E. Finish: Maple
- F. Installation Type: Screw down.
- G. Substitutions: Under provisions of Section 01 6000 Product Requirements.

2.4 FASTENERS

- A. Fasteners: Of size and type to suit application; brushed chrome finish in exposed locations.
- B. Adhesives, General: Do not use adhesives that contain urea formaldehyde.
 - 1. VOC Limits for Installation Of Adhesives and Glues: Use installation adhesives that comply with the following limits for VOC content when calculated according to 40 CFR 59, Subpart D (EPA Method 24):
 - a. Wood Glues: 30 g/L.
 - b. Contact Adhesive: 250 g/L.

2.5 ACCESSORIES

- A. Lumber for Shimming, Blocking: Softwood lumber of Southern Pine species.
- B. Primer: Alkyd primer sealer.
- C. Wood Filler: Solvent base, tinted to match surface finish color.

2.6 FABRICATION

- A. Shop assemble work for delivery to site, permitting passage through building openings.
- B. Fit exposed sheet material edges with 3/8-inch matching hardwood edging. Use one piece for full length only.
- C. When necessary to cut and fit on site, provide materials with ample allowance for cutting. Provide trim for scribing and site cutting.
- D. Back prime all edges.

2.7 FIELD FINISHING

- A. Sand work smooth and set exposed nails and screws.
- B. Apply wood filler in exposed nail and screw indentations.
- C. Paint work in accordance with AWI Architectural Woodwork Quality Standards Illustrated, Section 1500 and in accordance with Section 09 9000 Paints and Coatings.

PART 3 EXECUTION

3.1 EXAMINATION

- A. Verify adequacy of backing and support framing.
- B. Verify mechanical, electrical, and building items affecting work of this section are placed and ready to receive this work.

3.2 INSTALLATION

- A. Set and secure materials and components in place, plumb and level.
- B. Carefully scribe work abutting other components, with maximum gaps of 1/32 inch.
Do not use additional overlay trim to conceal larger gaps.

3.3 TOLERANCES

- A. Maximum Variation from True Position: 1/16 inch.
- B. Maximum Offset from True Alignment with Abutting Materials: 1/32 inch.

END OF SECTION

THIS PAGE INTENTINALLY LEFT BLANK

SECTION 07 2100
THERMAL INSULATION

PART 1 GENERAL

1.1 SECTION INCLUDES

- A. Batt insulation in interior wall and ceiling construction.
- B. Batt insulation for exterior wall construction.
- C. Continuous insulation for exterior wall construction.
- D. Insulation for roof system.
- E. Acoustic wall panels.

1.2 REFERENCE STANDARDS

- A. ASTM C578 – Standard Specification for Rigid, Cellular Polystyrene Thermal Insulation, 2019
- B. ASTM C665 - Standard Specification for Mineral-Fiber Blanket Thermal Insulation for Light Frame Construction and Manufactured Housing.
- C. ASTM E84 - Standard Test Method for Surface Burning Characteristics of Building Materials.
- D. ASTM E136 - Standard Test Method for Behavior of Materials in a Vertical Tube Furnace At 750 Degrees C.
- E. ASTM E2357 - Standard Test Method for Determining Air Leakage of Air Barrier Assemblies.

1.3 SUBMITTALS

- A. See Section 01 3000 - Administrative Requirements, for submittal procedures.
- B. Product Data: Provide data on product characteristics, performance criteria, and product limitations.
- C. Manufacturer's Certificate: Certify that products meet or exceed specified requirements.
- D. Manufacturer's Installation Instructions: Include information on special environmental conditions required for installation and installation techniques.

1.4 FIELD CONDITIONS

- A. Do not install insulation adhesives when temperature or weather conditions are detrimental to successful installation.

1.4 PERFORMANCE REQUIREMENTS

- A. Roof Insulation
 - 1. Above Deck: R-25Ci
 - 2. Metal Building: R-19 +R-11 LS.
- B. Wall Insulation
 - 1. Metal Building: R 13 +R6.5Ci
 - 2. Metal Frame: R-13 +R-5Ci.

PART 2 PRODUCTS

2.1 APPLICATIONS

- A. Insulation Over Metal Stud Framed Walls, Continuous: Extruded polystyrene (XPS) board, or mineral wool.
- B. Insulation in Metal Framed Walls: Batt insulation with no vapor retarder.

2.2 BATT INSULATION MATERIALS

- A. Glass Fiber Batt Insulation: Flexible preformed batt or blanket, complying with ASTM C665; friction fit.
 - 1. Flame Spread Index: 75 or less, when tested in accordance with ASTM E84.
 - 2. Smoke Developed Index: 450 or less, when tested in accordance with ASTM E84.
 - 3. Combustibility: Non-combustible, when tested in accordance with ASTM E136, except for facing, if any.
 - 4. Thickness: As required to achieve the performance ratings in paragraph 1.4.
 - 5. Facing: Asphalt treated mesh reinforced Kraft paper, one side.
- C. Manufacturers:
 - a. CertainTeed Corporation: www.certainteed.com.
 - b. Johns Manville: www.jm.com.
 - c. Owens Corning Corporation: www.ocbuildingspec.com/#sle.
 - d. Substitutions: See Section 01 6000 - Product Requirements.

2.3 FOAM BOARD INSULATION MATERIALS

- A. Extruded Polystyrene (XPS) Continuous Insulation (CI) Board: Complies with ASTM C578, and manufactured using carbon black technology.
 - 1. Type and Compressive Resistance: Type IV, 25 psi, minimum.
 - 2. Flame Spread Index (FSI): Class A 0 to 25 when tested in accordance with ASTM E84.
 - 3. Smoke Developed Index (SDI): 450 or less, when tested in accordance with ASTM E84.
 - 4. Type and Thermal Resistance, R-value (RSI-value): Type IV, 5.6 minimum, per 1 inch thickness at 75 degrees F mean temperature.
 - 5. Complies with fire resistance requirements indicated on Drawings as part of an exterior non-load-bearing exterior wall assembly when tested in accordance with NFPA 285.
 - 6. Board Size: 48 inch by 96 inch.
 - 7. Board Thickness: As required to achieve the performance ratings in paragraph 1.4.
 - 8. Board Edges: Square.
 - 9. Type and Water Absorption: Type IV, 0.3 percent by volume, maximum, by total immersion.
 - 10. Products:
 - a. DuPont de Nemours, Inc; Styrofoam Brand Ultra SL (Shiplap)

2.4 ACOUSTICAL WALL PANELS

- A. R-Seal Rigid Envelope Insulation Panel.
- B. Thickness: 2 inches
- C. Exterior Profile: PS (Polypropylene/Scrim) bonded to rigid foam.
- D. Exterior Face: Uniformed Dimpling Pattern.

- E. Interior Profile: PS (Polypropylene/Scrim) bonded to rigid foam.
- F. Interior Face: Uniformed Dimpling Pattern.
- G. Joints: Butt
- H. Fastening: Through fastened with support channels at finished floor and eave areas.
- I. Core: Rigid closed cell modified Polyurethane/PUR/PIR core, structural and fire rated components between fiber-reinforced polypropylene.

2.4 ACCESSORIES

- A. Tape: Bright aluminum self-adhering type, mesh reinforced, 2 inch wide.
- B. Tape joints of rigid insulation in accordance with roofing and insulation manufacturers' instructions.
- C. Insulation Fasteners: Impaling clip of unfinished steel with washer retainer and clips, to be adhered to surface to receive insulation, length to suit insulation thickness and substrate, capable of securely and rigidly fastening insulation in place.
- D. Adhesive: Type recommended by insulation manufacturer for application.

PART 3 EXECUTION

3.1 EXAMINATION

- A. Verify that substrate, adjacent materials, and insulation materials are dry and that substrates are ready to receive insulation.
- B. Verify substrate surfaces are flat, free of honeycomb, fins, irregularities, or materials or substances that may impede adhesive bond.

3.2 BATT INSTALLATION

- A. Install insulation and vapor retarder in accordance with manufacturer's instructions.
- B. Install in exterior wall and roof spaces without gaps or voids. Do not compress insulation.
- C. Trim insulation neatly to fit spaces. Insulate miscellaneous gaps and voids.
- D. Fit insulation tightly in cavities and tightly to exterior side of mechanical and electrical services within the plane of the insulation.
- E. Install with factory applied vapor retarder membrane facing warm side of building spaces. Lap ends and side flanges of membrane over framing members.
- F. Tape seal butt ends, lapped flanges, and tears or cuts in membrane.

3.3 FIELD QUALITY CONTROL

- A. See Section 01 4000 - Quality Requirements, for additional requirements.

3.4 PROTECTION

- A. Do not permit installed insulation to be damaged prior to its concealment.

END OF SECTION

THIS PAGE INTENTINALLY LEFT BLANK

SECTION 08 5113
ALUMINUM WINDOWS

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Extruded aluminum windows, fixed.
- B. Factory glazing.

1.02 RELATED REQUIREMENTS

- A. Section 06 1000 - Rough Carpentry: Rough opening framing.
- B. Section 07 2500 - Weather Barriers: Sealing frame to weather barrier installed on adjacent construction.
- C. Section 07 9005 - Joint Sealers: Perimeter sealant and back-up materials.
- D. Section 08 4313 - Aluminum-Framed Storefronts: Operable sash within framing system.
- E. Section 08 8000 - Glazing.

1.03 REFERENCE STANDARDS

- A. AAMA/WDMA/CSA 101/I.S.2/A440 - North American Fenestration Standard/Specification for windows, doors, and skylights; 2011.
- B. AAMA CW-10 - Care and Handling of Architectural Aluminum From Shop to Site; 2015.
- C. AAMA 609 & 610 - Cleaning and Maintenance Guide for Architecturally Finished Aluminum (Combined Document); 2015.
- D. AAMA 611 - Voluntary Specification for Anodized Architectural Aluminum; 2012.
- E. AAMA CW-10 - Care and Handling of Architectural Aluminum From Shop to Site; American Architectural Manufacturers Association; 2012.
- F. ASTM E1105 - Standard Test Method for Field Determination of Water Penetration of Installed Exterior Windows, Skylights, Doors, and Curtain Walls, by Uniform or Cyclic Static Air Pressure Difference; 2015.

1.04 ADMINISTRATIVE REQUIREMENTS

- A. Preinstallation Meeting: Convene one week before starting work of this section.

1.05 SUBMITTALS

- A. See Section 013000 - Administrative Requirements, for submittal procedures.
- B. Product Data: Provide component dimensions, information on glass and glazing, internal drainage details, and descriptions of hardware and accessories.
- C. Grade Substantiation: Provide specified Grade Substantiation before submitting shop drawings or starting fabrication.
- D. Shop Drawings: Indicate opening dimensions, elevations of different types, framed opening tolerances, method for achieving air and vapor barrier seal to adjacent construction, anchorage locations, and installation requirements.
- E. Samples: Submit two samples, 12 by 12 inch in size illustrating typical corner construction, accessories, and finishes.
- F. Submit two samples of operating hardware.

- G. Grade Substantiation: Prior to submitting shop drawings or starting fabrication, submit one of the following showing compliance with specified grade:
 - 1. Evidence of AAMA Certification.
 - 2. Evidence of WDMA Certification.
 - 3. Evidence of CSA Certification.
 - 4. Test report(s) by independent testing agency itemizing compliance and acceptable to authorities having jurisdiction.
- H. Test Reports: Prior to submitting shop drawings or starting fabrication, submit test report(s) by independent testing agency showing compliance with performance requirements in excess of those prescribed by specified grade.
- I. Manufacturer's Installation Instructions: Include complete preparation, installation, and cleaning requirements.
- J. Field Quality Control Submittals: Report of field testing for water penetration and air leakage.
- K. Manufacturer's Qualification Statement.
- L. Installer's Qualification Statement.
- M. Warranty: Submit manufacturer warranty and ensure that forms have been completed in Owner's name and registered with manufacturer.

1.06 QUALITY ASSURANCE

- A. Manufacturer Qualifications: Company specializing in manufacturing products specified in this section with minimum three years of documented experience.
- B. Installer Qualifications: Company specializing in performing work of type specified and with at least three years of documented experience.

1.07 DELIVERY, STORAGE, AND HANDLING

- A. Comply with requirements of AAMA CW-10.
- B. Protect finished surfaces with wrapping paper or strippable coating during installation. Do not use adhesive papers or sprayed coatings that bond to substrate when exposed to sunlight or weather.

1.08 FIELD CONDITIONS

- A. Do not install sealants when ambient temperature is less than 40 degrees F.
- B. Maintain this minimum temperature during and 24 hours after installation of sealants.

1.09 WARRANTY

- A. See Section 017800 - Closeout Submittals, for additional warranty requirements.
- B. Correct defective Work within a five year period after Date of Substantial Completion.
- C. Provide five-year manufacturer warranty against failure of glass seal on insulating glass units, including interpane dusting or misting. Include provision for replacement of failed units.
- D. Provide five-year manufacturer warranty against excessive degradation of exterior finish. Include provision for replacement of units with excessive fading, chalking, or flaking.

PART 2 PRODUCTS

2.01 MANUFACTURERS

- A. Aluminum Windows:
 - 1. Basis of Design: Kawneer 8225TL Thermal Fixed Windows.
 - 2. Other Acceptable Manufacturers:
 - a. EFCO; www.efcocorp.com
 - b. Arcadia Inc.; www.arcadia.com

2.02 ALUMINUM WINDOWS

- A. Aluminum Windows: Extruded aluminum frame, factory fabricated, factory finished, with related flashings, shims and anchorage and attachment devices.
 - 1. Frame Depth: 2-1/4 inch with 0.125" minimum frame thickness.
 - 2. Provide units factory glazed.
 - 3. Fabrication: Joints and corners flush, hairline, and weatherproof, accurately fitted and secured; prepared to receive anchors; fasteners and attachments concealed from view; reinforced as required for operating hardware and imposed loads.
 - 4. Perimeter Clearance: Minimize space between framing members and adjacent construction while allowing expected movement.
 - 5. Movement: Accommodate movement between window and perimeter framing and deflection of lintel, without damage to components or deterioration of seals.
 - 6. System Internal Drainage: Drain to the exterior by means of a weep drainage network any water entering joints, condensation occurring in glazing channel, and migrating moisture occurring within system.
 - 7. Thermal Movement: Design to accommodate thermal movement caused by 180 degrees F surface temperature without buckling stress on glass, joint seal failure, damaging loads on structural elements, damaging loads on fasteners, reduction in performance or other detrimental effects.
- B. Performance Requirements: Provide products that comply with the following:
 - a. Performance Class and Grade: AW-PG100-FW.

2.03 COMPONENTS

- A. General
 - 1. All aluminum frame and vent extrusions shall have a minimum wall thickness of .080" (2 mm). Frame sill members shall have a minimum wall thickness of .094" (2.3 mm).
 - 2. Mechanical fasteners, welded components, and hardware items shall not bridge thermal barriers.
 - 3. Depth of frame shall not be less than 3 7/8" (98 mm).
- B. Frame
 - 1. Frame components shall be mechanically fastened.
- C. Sash
 - 1. All sash extrusions shall have a minimum wall thickness of .080" (2 mm).
 - 2. All horizontal sash extrusions shall be tubular.
 - 3. Corner connections shall be mechanically fastened.
- D. Glazing: As specified in Section 08 8000.
- E. Fasteners: Stainless steel.
- F. Glazing Materials: As specified in Section 08 8000.
- G. Sealant for Setting Sills and Sill Flashing: Non-curing butyl type.
- H. Sealant and Backing Materials: As specified in Section 07 9005.

2.04 MATERIALS

- A. Aluminum
 - 1. Extruded aluminum shall be 6063-T6 alloy and tempered.
- B. Glass
- C. Window manufacturer to furnish and install Sealed Insulated - Low "E" glazing units in compliance with ASTM E-744. U-Factor lower than 0.60 and with a SHGC less than 0.40.
- D. Glazing tint Colors: As selected from manufacturer's full range of colors

E. Thermal Barrier

1. All exterior aluminum shall be separated from interior aluminum by a rigid, structural thermal barrier. For purposes of this specification, a structural thermal barrier is defined as a system that shall transfer shear during bending and, therefore, promote composite action between the exterior and interior extrusions.
2. Sills are thermally broken with thermal struts, consisting of glass reinforced polyamide nylon, mechanically crimped in raceways extruded in the exterior and interior extrusions. All other frames and sash are thermally broken using the latest technology in two-part, high-density polyurethane. A nonstructural thermal barrier is unacceptable.

2.06 FINISHES

- A. Class I Natural Anodized Finish: AAMA 611 AA-M12C22A41 Clear anodic coating not less than 0.7 mils thick.
- B. Apply one coat of bituminous coating to concealed aluminum and steel surfaces in contact with dissimilar materials.

PART 3 EXECUTION

3.01 EXAMINATION

- A. Verify that wall openings and adjoining air and vapor seal materials are ready to receive aluminum windows.

3.02 INSTALLATION

- A. Install windows in accordance with manufacturer's instructions.
- B. Install window assembly in accordance with AAMA/WDMA/CSA 101/I.S.2/A440.
- C. Attach window frame and shims to perimeter opening to accommodate construction tolerances and other irregularities.
- D. Align window plumb and level, free of warp or twist. Maintain dimensional tolerances and alignment with adjacent work.
- E. Install sill and sill end angles.
- F. Set sill members and sill flashing in continuous bead of sealant.
- G. Provide thermal isolation where components penetrate or disrupt building insulation. Pack fibrous insulation in shim spaces at perimeter of assembly to maintain continuity of thermal barrier.
- H. Coordinate attachment and seal of perimeter air barrier and vapor retarder materials.
- I. Install operating hardware not pre-installed by manufacturer. Install glass and infill panels in accordance with requirements specified in Section 088000.
- J. Install perimeter sealant in accordance with requirements specified in Section 079005.

3.03 TOLERANCES

- A. Maximum Variation from Level or Plumb: 1/16 inches every 3 ft non-cumulative or 1/8 inches per 10 ft, whichever is less.

3.04 FIELD QUALITY CONTROL

- A. Provide services of aluminum window manufacturer's field representative to observe for proper installation of system and submit report.

3.05 FIELD QUALITY CONTROL

- A. Test installed windows for compliance with performance requirements for water penetration, in accordance with ASTM E1105 using uniform pressure and the same pressure difference as specified for laboratory testing.
- B. If any window fails, test additional windows at Contractor's expense.

C. Replace windows that have failed field testing and retest until performance is satisfactory.

3.06 CLEANING

- A. Remove protective material from factory finished aluminum surfaces.
- B. Wash surfaces by method recommended and acceptable to window manufacturer; rinse and wipe surfaces clean.
- C. Upon completion of installation, thoroughly clean aluminum surfaces in accordance with AAMA 609 & 610.
- D. Remove excess glazing sealant by moderate use of mineral spirits or other solvent acceptable to sealant and window manufacturer.

END OF SECTION

THIS PAGE INTENTINALLY LEFT BLANK

SECTION 08 8000
GLAZING

PART 1 GENERAL

1.1 SECTION INCLUDES

- A. Glass and glazing materials for windows, and doors.
- B. Laminated glass for exterior hollow metal doors and frames.
- B. Glazing compounds and accessories.

1.2 RELATED SECTIONS

- A. Section 07 9200 - Joint Sealers: Sealant and back-up material.

1.3 REFERENCES

- A. 16 CFR 1201 – Safety Standard for Architectural Glazing Materials, current edition.
- B. ASTM C 1036 - Standard Specification for Flat Glass; current edition.
- C. ASTM C 1048 - Standard Specification for Heat-Treated Flat Glass--Kind HS, Kind FT Coated and Uncoated Glass; current edition.
- D. ASTM C1172 – Standard Specification for Laminated Architectural Flat Glass, current edition
- E. ASTM C 1193 - Standard Guide for Use of Joint Sealants; current edition.
- F. ASTM E 1300 - Standard Practice for Determining Load Resistance of Glass in Buildings; current edition.
- G. GANA (GM) - GANA Glazing Manual; Glass Association of North America; current edition.
- H. GANA (SM) - FGMA Sealant Manual; Glass Association of North America; current edition.

1.4 PERFORMANCE REQUIREMENTS

- A. Provide impact resistant glass and glazing materials for continuity of building enclosure vapor retarder and air barrier:
 - 1. In conjunction with materials described in Section 07 9200.
 - 2. To utilize the inner pane of multiple pane sealed units for the continuity of the air barrier and vapor retarder seal.
 - 3. To maintain a continuous air barrier and vapor retarder throughout the glazed assembly from glass pane to heel bead of glazing sealant.
- B. Select type and thickness of exterior glass to withstand dead loads and wind loads acting normal to plane of glass at design pressures calculated in accordance with applicable code.
 - 1. Use the procedure specified in ASTM E 1300 to determine glass type and thickness.
 - 2. Limit glass deflection to 1/200 or flexure limit of glass, whichever is less, with full recovery of glazing materials.
 - 3. Thicknesses listed are minimum.

1.5 SUBMITTALS

- A. See Section 01 3000 - Administrative Requirements, for submittal procedures.
- B. Product Data on Glass Types: Provide structural, physical and environmental characteristics, size limitations, and special handling or installation requirements.
- C. Product Data on Glazing Compounds: Provide chemical, functional, and environmental characteristics, limitations, special application requirements. Identify available colors.
- D. Samples of each glass type indicating color and tint properties, for Architect approval.
- E. Manufacturer's Certificate: Certify that glass meets or exceeds specified requirements.

1.6 QUALITY ASSURANCE

- A. Perform Work in accordance with GANA Glazing Manual and FGMA Sealant Manual for glazing installation methods.
- B. Installer Qualifications: Company specializing in performing the work of this section with minimum five years documented experience.

1.7 ENVIRONMENTAL REQUIREMENTS

- A. Do not install glazing when ambient temperature is less than 50 degrees F.
- B. Maintain minimum ambient temperature before, during and 24 hours after installation of glazing compounds.

1.8 WARRANTY

- A. See Division 1 sections for additional warranty requirements.
- B. Provide a five (5) year warranty to include coverage for sealed glass units from seal failure, interpane dusting or misting, and replacement of same.
- C. Provide a five (5) year warranty to include coverage for delamination of laminated glass and replacement of same.
- D. The Warranties submitted under this Section shall not deprive the Owner of other rights or remedies that the Owner may have under other provisions of the Contract Documents and the laws of governing jurisdictions and is in addition to and runs concurrently with other warranties made by the Contractor under requirements of the Contract Documents.

PART 2 PRODUCTS

2.1 SEALED INSULATING GLASS MATERIALS

- A. Acceptable Manufacturers:
 - 1. Basis of Design: PPG Industries, Inc, "Starphire": www.afgglass.com.
 - 5. Substitutions permitted under provisions of Section 01 6000 – Product Requirements.

2.2 SEALED INSULATING VISION GLASS

- A. Applications: Exterior glazing unless otherwise indicated.
- B. Space between lites filled with air.
- C. 1" Double insulated glazing system (1/4" low-E tinted tempered glass, 1/2" airspace, 1/4" clear tempered glass), color as selected by Architect.
- E. Glass Performance Requirements (minimum)
 - 1. Winter Night-time U-value: 0.29
 - 2. Summer Day-time U-value: 0.27
 - 3. Visible Light Reflectance: 11%
 - 4. Shading Coefficient: 0.45
 - 5. Visible Light Transmittance: 70%
 - 6. Total Solar Energy Transmittance: 34%
 - 7. Total Solar Energy Reflectance: 28%
 - 8. Ultra-violet Light Transmittance: 18%
 - 9. Solar Heat Gain Coefficient: .39
 - 10. Light to Solar Gain: 1.79

2.3 LAMINATED GLASS

- A. Manufacturers
 - 1. Cardinal Glass Industries: www.cardinalcorp.com
 - 2. Viracon, Architectural Glass segment of Apogee Enterprises: www.viracon.com
 - 3. Tecnoglass: www.tecnoglass.com

4. Substitutions: See Section 01 6000 Product Requirements.
- B. Laminated Glass: Float glass laminated in accordance with ASTM C1172.
 1. Laminated Safety Glass: Complies with ANSI Z97.1 – Class B or 16 CFR 1201 Category I impact test requirements.
 2. Polyvinyl Butyral (PVB) Interlayer: 0.030 inch thick, minimum.
 3. Ionoplast Interlayer 0.035 inch thick, minimum.
 4. Unit Thickness: 1/2" minimum.
 5. Provide laminated glass for exterior hollow metal doors and frames.

2.4 GLAZING MATERIALS

- A. Manufacturers:
 1. Norton Performance Plastics Corp.
 2. Pecora Corporation: www.pecora.com.
 3. Tremco, Inc: www.tremcosealants.com.
 4. Substitutions permitted under provisions of Section 01 6000 – Product Requirements.
- B. Provide types for applicable setting method specified in GANA Glazing Manual and FGMA Sealant Manual except as specified otherwise. Do not use metal sash putty, non-skimming compounds, non-resilient preformed sealers or impregnated preformed gaskets.
- C. Materials Exposed to View and Unpainted: Black.
- D. Accessories: As required for complete installation. Include glazing points, clips, shims, angles, beads, gaskets and spacers. Provide primer-sealers and cleaners as recommended by glass and sealant manufacturer.

PART 3 EXECUTION

3.1 EXAMINATION

- A. Verify that openings for glazing are correctly sized and within tolerance.
- B. Verify that surfaces of glazing channels or recesses are clean, free of obstructions that may impede moisture movement, weeps are clear, and ready to receive glazing.

3.2 PREPARATION

- A. Clean contact surfaces with solvent and wipe dry.
- B. Seal porous glazing channels or recesses with substrate compatible primer or sealer.
- C. Prime surfaces scheduled to receive sealant.
- D. Install sealants in accordance with ASTM C 1193 and FGMA Sealant Manual.
- E. Install sealant in accordance with manufacturer's instructions.

3.3 INSTALLATION

- A. Install glass in accordance with recommendations and procedures in GANA Glazing Manual and FGMA Sealant Manual.
- B. Install glass in accordance with storefront frame manufacturer recommendations and instructions.
- C. Install glass with lines or waves horizontal.

3.4 CLEANING

- A. Remove glazing materials from finish surfaces.
- B. Remove labels after Work is complete.
- C. Clean glass and adjacent surfaces.

3.05 PROTECTION OF FINISHED WORK

- A. After installation, mark pane with an 'X' by using removable plastic tape or paste; do not mark heat absorbing or reflective glass units.

END OF SECTION



JC DIVERSION CENTER RENOVATION

3890 FM3514, BEAUMONT, TX 77705

BRAVE / architecture

4200 Montrose Blvd., Suite 400
Houston, Texas 77006
713.524.5858 v / 713.524.5868 f
studio@bravearchitecture.com

B/A PROJ. 23141
#:

SCHEMATIC DESIGN

DESIGN DEVELOPMENT

90% CONSTRUCTION DOCUMENTS

100% CONSTRUCTION DOCUMENTS

ADDENDUM #01

05/02/2024
06/14/2024
08/23/2024
09/23/2024
11/01/2024



100% CONSTRUCTION DOCUMENTS ADDENDUM #01

PROJECT TEAM:

ARCHITECT	BRAVE / ARCHITECTURE
CIVIL	DALLY + ASSOCIATES
LANDSCAPE	KW LANDSCAPE ARCHITECTS
STRUCTURAL	DALLY + ASSOCIATES
MEP	ASEI ENGINEERING
BUILDING ENVELOPE	PRICE CONSULTING, INC
AV/IT CONSULTANT	DATACOM DESIGN GROUP



AB	ANCHOR BOLT	JAN	JANITOR	
ACOUS	ACOUSTICAL	JST	JOIST	
AD	ACCES DOOR	JT	JOINT	
ADA	ACCESSIBILITY DISABILITIES ACT	LAM	LAMPHOLD (D)	
ADJ	ADJUSTABLE	LAV	LAVATORY	
ADJ	ADJACENT	LGH	LENGTH	
AFF	ABOVE FINISHED FLOOR	LIN	LINEAR	
AGG	AGGREGATE	LCKR	LOCKERS()	
AHU	AIR HANDLING UNIT	LL	LIVE LOAD	
ALT	ALTERNATE	LT	LIGHT	
ALUM	ALUMINUM	MACH	MACHINE	
AND	AND/OR	MEMB	MEMBRANE	
ANOD	ANODIZED	MECH	Mechanical	
ANOD	ANODIZED	MFR	MANUFACTURER	
APX	APX	MHR	MATERIAL	
A-R	ABUSE RESISTANT	MIN	MINIMUM	
ARCH	ARCHITECT (URAL)	MISC	MISCELLANEOUS	
AS	ASSET	MTR	MATERIAL	
ASPH	ASPHALT	MATL	MATERIAL	
ATN	ATTENUATION (ING)	MAX	MAXIMUM	
AUTO	AUTOMATIC	MACH	MACHINE BOLT	
AV	AVENUE	MEMB	MEMBRANE	
AVG	AVERAGE	MFR	MANUFACTURER	
A/C	AIR CONDITIONING	MHR	MATERIAL	
AV	AUDIO VISUAL	MUL	MULSION	
BD	BOARD	NC	NOT IN CONTRACT	
BLDG	BUILDING	NOM	NOMINAL	
BLKS	BUILDING BLOCK	NOM	NOMINAL	
BLK	BLOCK	NRC	NOISE REDUCTION COEFFICIENT	
BM	BEAM	NTS	NOT TO SCALE	
BOT	BOTTOM	OC	ON CENTER (S)	
BRS	BREAKER	OC	OUTSIDE DIAMETER	
BRKT	BRACKET	OFF	OWNER FURNISHED /	
BSMT	BASEMENT	OFF	OWNER INSTALLED	
BTW	BETWEEN	OFF	OFFICE	
BUR	BUILT UP ROOFING	OFF	OFFICE	
BUR	BUILT UP BURLED	OFF	OFFICE	
B-B	BACK TO BACK	OFF	OFFICE	
B.M.	BENCH MARK	OFF	OFFICE	
B/F	BOTH FACES	OA	OUTSIDE AIR	
CAB	CABINET	OA	OVERALL	
CB	CHALK BOARD	OC	ON CENTER (S)	
CCTV	CLOSED CIRCUIT TELEVISION	OC	OUTSIDE DIAMETER	
CO	CLOSED	OFF	OWNER FURNISHED /	
CER	CERAMIC	OFF	OWNER INSTALLED	
CFMF	COLD FORMED METAL FRAMING	OFF	OFFICE	
CIP	CAST IN PLACE	OFF	OFFICE	
CI PIPE	CAST IN PIPE	OFF	OFFICE	
CO	CONTROLO POINT	OH	OVERHEAD	
CKBD	CHAUBOARD	OPH	OPPOSITE HAND	
CLG	CEILING	OPN	OPENING	
CLR	CLEAR (ANCE)	OPP	OPPOSITE	
CLT	CLOSE	OPR	OPEN/UP	
CMU	CONCRETE MASONRY UNIT	OA	OUTSIDE AIR	
CNT	COUNTER	PA	PAINTED	
COL	COLUMN	PL	PLUMBING	
COMPRES	COMPRESSED	PLC	PLUGGED	
COMP	COMPOSITION	PLCP	PLUGGED	
COND	CONDENSATE	PLR	PLUGGED	
COND	CONDITION	PLST	PLUMBER	
CONC	CONCRETE	PLAS	PLUMBER	
CONST	CONSTRUCTION	PLBS	PLUMBERS	
CONTR	CONTRACTOR	PLWD	PLUMMING	
CONT	CONTINUOUS	PNL	PLUNGER	
COUPL	COUPLING	PR	POLISHED	
CORP	CORRIDOR	PRKG	PARKING	
CSTM	CASEMENT	PRK	PARKING	
CTR	CENTER	PSF	POUNDS PER SQUARE FOOT	
CTSK	COATERSHINK	PSI	POUNDS PER SQUARE INCH	
CT	CERAMIC TILE	PTD	PANTED	
CU FT	CUBIC FOOT (FEET)	PVC	POLYVINYL CHLORIDE	
CU YD	CUBIC YARD	PVG	PAVING	
C	CURB	PTW	PORT	
C-TO C	CASED TO CENTER	PWT	PORTMENT	
C.O.	CASED OPENING	P.L.	PROPERTY LINE	
D6	DRY MARKER BOARD	P.C.	PRECAST	
DBL	DOUBLE	QT	QUARRY TILE	
DEFL	DEFLECTION			
DRINK	DRINKING FOUNTAIN			
DIAG	DIAGONAL	R	RADIUS	
DIAM	DIAMETER	RAG	RETURN AIR GRILLE	
DIM	DIMENSION	RIN	REINFORCED	
DISC	DISCONNECT	RCP	REFLECTED CEILING PLAN	
DISP	DISPENSER	RD	REDFR	
DL	DRAG LOAD	REC	REINFORCING BAR	
DMPFG	DAMPENING	RECSP	RECEPTACLE	
DN	DOWN	RECOM	RECOMMENDATION	
DS	DOOR	RECSP	RECESSION	
DS-L	DOOR SPUD	RECSP	RECESSION	
DTL	DETACH	RECSP	RECESSION	
DWL	DWY WALL	RECSP	RECESSION	
DWG	DRAWING	RECSP	RECESSION	
D	DEPTH	RECSP	RECESSION	
EA	EACH	REF	REFER TO	
EFOB	EXTERIOR FACE OF BUILDING	RFG	REFRIG	
EIFS	EXTERIOR INSULATED FINISH SYSTEM	RH	RIGHT HAND	
EJ	EXTERIOR JOINT	RIN	REINFORCED	
ELAS	ELASTIC (ELASTOMERIC)	RM	ROOM	
ELEC	ELECTRICAL	ROW	RIGHT OF WAY	
ELEV	ELEVATOR	R.T.U.	ROOF TOP UNIT	
EMER	EMERGENCY	R.U.	ROOF UNIT	
EP	EXPLOSION PROOF	SCHED	SCHEDULE	
EQUI	EQUIPMENT	SECT	SECTION	
ER	ERGONOMICS	SEPC	SPECIFICATION	
ESR	ELASTIC SHEET ROOFING	SHLV	SHELVING (S)	
EWC	ELECTRIC WATER COOLER	SHTN	SHETHING (S)	
EWH	ELECTRIC WATER HEATER	SHTR	SHET	
EW	EACH WAY	SHWR	SHOWERS	
EWSH	EWASH	SQ	SQUARE	
EXH	EXHAUST	SS	STAINLESS STEEL	
EXIST	EXISTING	STAB	STAB (D)	
EXPAN	EXPANSION	STAB	STAB (D)	
EXT	EXTERIOR	STD	STANDARD	
FA	FIRE ALARM	STL	STEEL	
FC	FIRE CODE	STR	STRUCTURE	
FD	FLOOR DRAIN	STRUCT	STRUCTURE (AL)	
FEC	FEAR EXTINGUISHER CABINET	SUSP	SUSPENDED	
FHC	FIRE HOSE CABINET	SW	SWITCH	
FI	FIREFIGHTER	SYN	SYMETRICAL	
FIN	FINISH (ED)	SYN	SYNTHETIC	
FIXT	FIXTURE	SAD	SUPPLY AIR DIFFUSER	
FLRG	FLOORING	TA	TAKE OFF ACCESSORY	
FLSHG	FLASHING	T.A.S.	TEMPERATURE AND HUMIDITY STANDARDS	
FLUOR	FLUORESCENT	T.B.	TEXTURED COATING ON CONCRETE	
FL	FLOW LINE	T.CC	TOP OF CURB	
FM	FACTORY MUTUAL	T.C.	TOP OF CURB	
FR	FLAME RETARDANT	TEL	TELEPHONE	
FRPF	FIREFPROOF	TEMP	TEMPERED	
FG	FULL SIZE	THK	THICKNESS	
FTG	FOOTING	THRE	THREED	
FT	FOOT	THRE	THREED	
FURN	FURNISH	TR	TACKBOARD	
FUR	FURRED (ING)	TLT	TOILET (S)	
F.V.	FIELD VERIFY	TRZ	TERRAZZO	
FVC	FIRE VALVE CABINET	TV	TELEPHONE	
GAL	GALVANIZED	TV	TELEVISION	
GAL	GALLOON	TOP	TOP	
GA	GENERAL	UNO	UNLESS NOTED OTHERWISE	
GG	GENERAL CONTRACTOR	UR	UNIVERSITY	
GD	GRADE, GRADING	VAC	VACUUM	
GEN	GENERAL	VCM	VINYL COMPOSITION TILE	
GL	GLASS GLAZING	VERT	VERTICAL	
GMMU	GLASS MESH MORTAR UNIT	VEST	VESTIBULE	
GMP	GUARANTEED MAXIMUM PRICE	VF	VERIFY IN FIELD	
GR	GROUND	VWC	VINYL WALL COVERING	
GYP	GYPSUM	WATER CLOSET		
HO	HOSE BIBB	WWD	WINDOW	
HOCP	HOLLOW CORE	WD	WOOD	
HDWD	HARDWOOD	WF	WIDE FLANGE	
HDW	HARDWARE	WH	WHEELS	
HD	HEAD	WI	WROUGHT IRON	
HFS	HIGH FULL SIZE	WP	WATERPROOF (ING)	
HM	HOLLOW METAL	WR	WATER RESISTANT	
HORIZ	HORIZONTAL	WT	WEIGHT	
HP	HORSEPOWER	WWF	WELDED WIRE FABRIC	
HT	HEIGHT	WP	WORK POINT	
HVAC	HEATING, VENTILATION, AIR CONDITIONING	W/	WITHOUT	
HYD	HYDRANT	W/	WITHIN	
INCD	INCIDENCE	W/I	WITHIN	
INFO	INFORMATION	XMR	TRANSFORMER	
INSU	INSULATION (ING)			
INT	INTERIOR			
IN	INLET			
IPS	INSIDE PIPE SIZE			

GRASS	COMPACTED EARTH FILL (SECTION)	RO

LEGEND	
	PROPOSED BUILDING RENOVATION
	SAWCUT
	REMOVE AND DISPOSE OF CONCRETE PAVING, CONCRETE CURB AND CONCRETE SIDEWALK

DEMOLITION NOTES TO CONTRACTOR:

- THE CONTRACTOR AND OWNER SHALL COORDINATE WITH UTILITY SERVICE PROVIDERS FOR TERMINATION OF POWER AND GAS SERVICES TO THE SITE OR NEW SERVICES. THIS WORK SHALL BE PERFORMED BY THE UTILITY SERVICE PROVIDER AND SHALL BE SCHEDULED AS ONE OF THE FIRST ITEMS OF BUSINESS.
- ALL SITE FEATURES NOT IDENTIFIED TO BE DEMOLISHED ARE TO REMAIN AND SHALL BE PROTECTED-IN-PLACE.
- ALL ITEMS DESIGNATED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR.
- CONTRACTOR TO FOLLOW ALL RECOMMENDED SAFETY AND DISPOSAL PROCEDURES INCLUDING BUT NOT LIMITED TO TCEQ & OSHA.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL DEBRIS OFF-SITE.
- BACKFILL ALL VOIDS FROM REMOVED ITEMS WITH STRUCTURAL FILL MATERIAL PLACED AND COMPAKTED PER GEOTECHNICAL REPORT.
- WHEN EXISTING SIDEWALK IS CLOSED FOR CONSTRUCTION, CONTRACTOR SHALL BARRICADE THAT AREA AND PROVIDE SAFE ALTERNATE PATH FOR PEDESTRIANS WITH PROPER SIGNAGE.
- ALL TRAFFIC SIGNAGE WITHIN THE ROW SHALL BE PROTECTED IN PLACE AT ALL TIMES. ANY DAMAGE TO THESE DEVICES SHALL BE REPAIRED IMMEDIATELY.
- CONTRACTOR SHALL REPAIR ANY ITEMS DAMAGED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING POSITIVE DRAINAGE ON SITE DURING ALL CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL ENTER AND EXIT THE SITE THROUGH EXISTING DRIVEWAY.
- CONTRACTOR SHALL NOTE ALL UTILITY PLUG LOCATIONS ON FIELD RECORD DRAWINGS.

SAWCUT NOTES:

- SAWCUT 2" MINIMUM DEPTH, EXPOSE AND CLEAN EXISTING REINFORCING STEEL.
- IF NO REINFORCING STEEL EXISTS, #5 HORIZONTAL DOWELS, 24" LONG, GRADE 60, SHALL BE DRILLED AND EMBEDDED 12" INTO THE CENTER OF EXISTING CONCRETE WITH EPOXY.
- ALL REINFORCING STEEL SHALL BE PLACED 3" CLEAR (2" ABSOLUTE MINIMUM) FROM EDGE OF CONCRETE.

PAVING DEMOLITION KEY NOTES:

(P1) EXISTING CONCRETE PAVEMENT TO BE REMOVED.
(P2) EXISTING CONCRETE CURB TO BE REMOVED.

ELECTRICAL DEMOLITION KEY NOTES:

NOTE: ALL ELECTRICAL ITEMS TO BE CUT, PLUGGED OR REMOVED SHALL BE COORDINATED WITH SERVICE PROVIDER AND MEP.
(E1) EXISTING LIGHT POLE TO BE REMOVED.
(E2) EXISTING LIGHT POLE TO REMAIN.

DRAINAGE DEMOLITION KEY NOTES:

(D1) EXISTING TYPE "C" INLET TO BE REMOVED.

CIVIL
DALLY + ASSOCIATES
9800 RICHMOND AVE SUITE 460
HOUSTON, TEXAS 77042
Civil Contact

LANDSCAPE
KW LANDSCAPE ARCHITECTS
6925 PORTWEST DRIVE, SUITE 100
HOUSTON, TX 77024
Landscape Contact

STRUCTURAL
DALLY + ASSOCIATES
9800 RICHMOND AVE, SUITE 460
HOUSTON, TEXAS 77042
Structural Contact

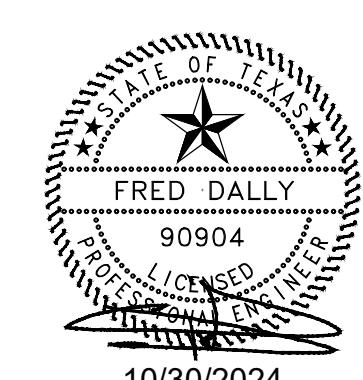
MEP
ASEI ENGINEERING
350 GLENBOROUGH DR, SUITE 270
HOUSTON, TX 77067
MEP Contact

BUILDING ENVELOPE
PRICE CONSULTING, INC
211 HIGHLAND CROSS DRIVE SUITE
200 HOUSTON, TX 77073
Consultant Contact

AV/IT CONSULTANT
DATACOM DESIGN GROUP
9111 JOLLYVILLE ROAD, SUITE 290
AUSTIN, TX 78759
Consultant Contact

Owning of Instruments of Service
All plans, plates, schedules, tables, figures, field data, notes & other documents, documents prepared by BRAVE / ARCHITECTURE are instruments of service of the property owner. BRAVE / ARCHITECTURE shall retain all common law, statutory and other reserved rights, including the copyright thereto.

SEAL:

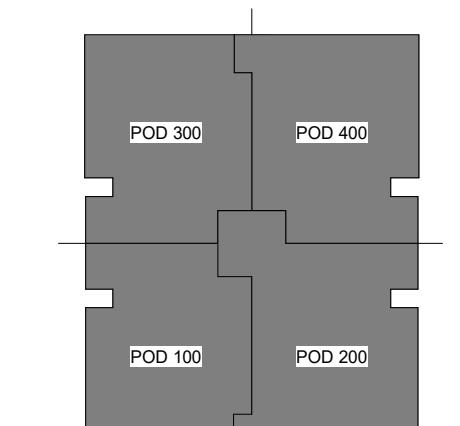


FILE:
DRAWN BY:
CHECKED BY:
Author
ISSUE:
05/02/2024 SCHEMATIC DESIGN
06/14/2024 DESIGN DEVELOPMENT
08/23/2024 90% CONSTRUCTION DOCUMENTS
09/23/2024 ISSUE FOR BID & PERMIT
10/30/2024 ADDENDUM 1

DEMOLITION PLAN

Scale: AS NOTED

C1.00

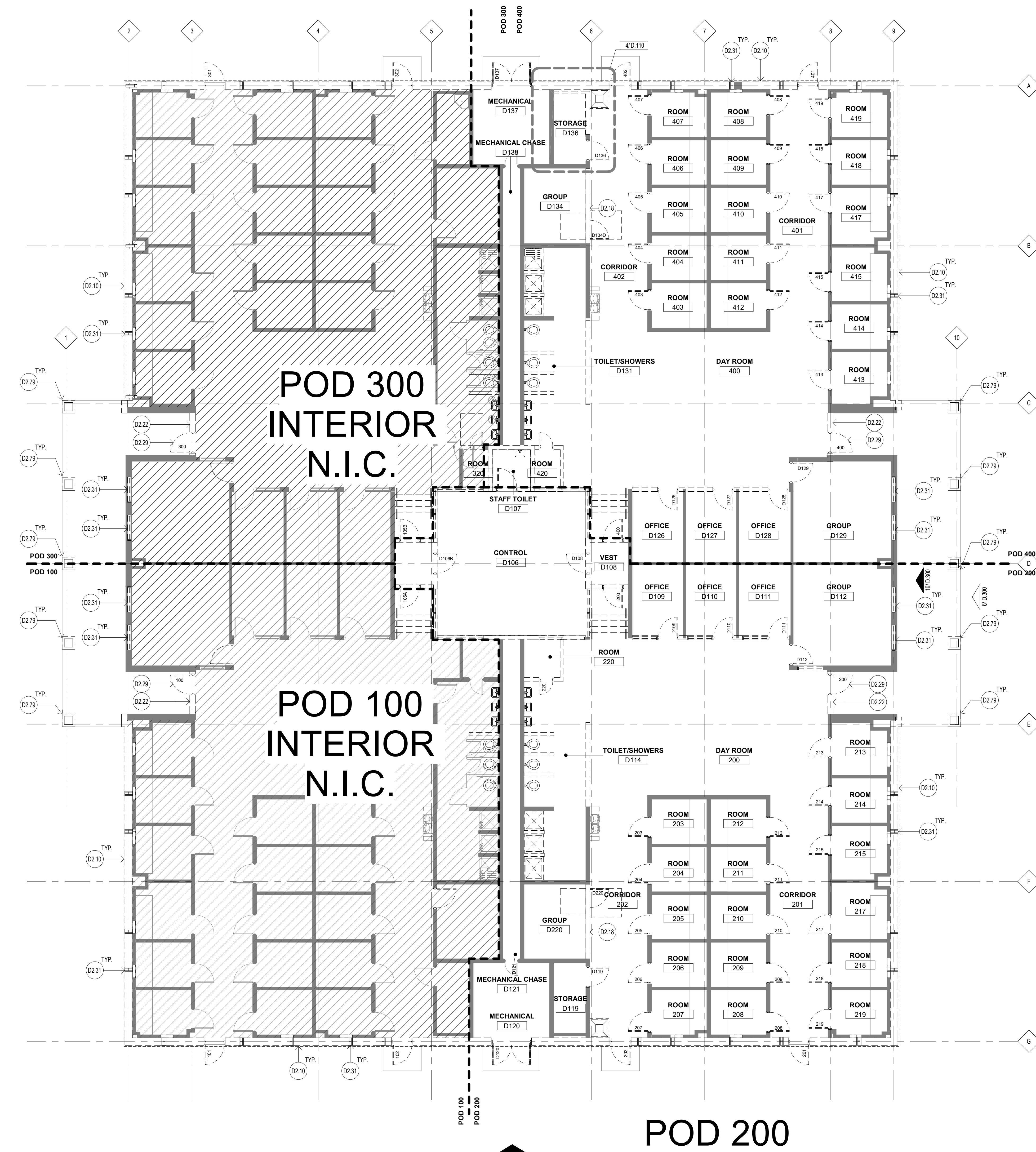


POD 400

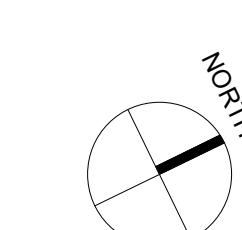
POD 300 INTERIOR N.I.C.

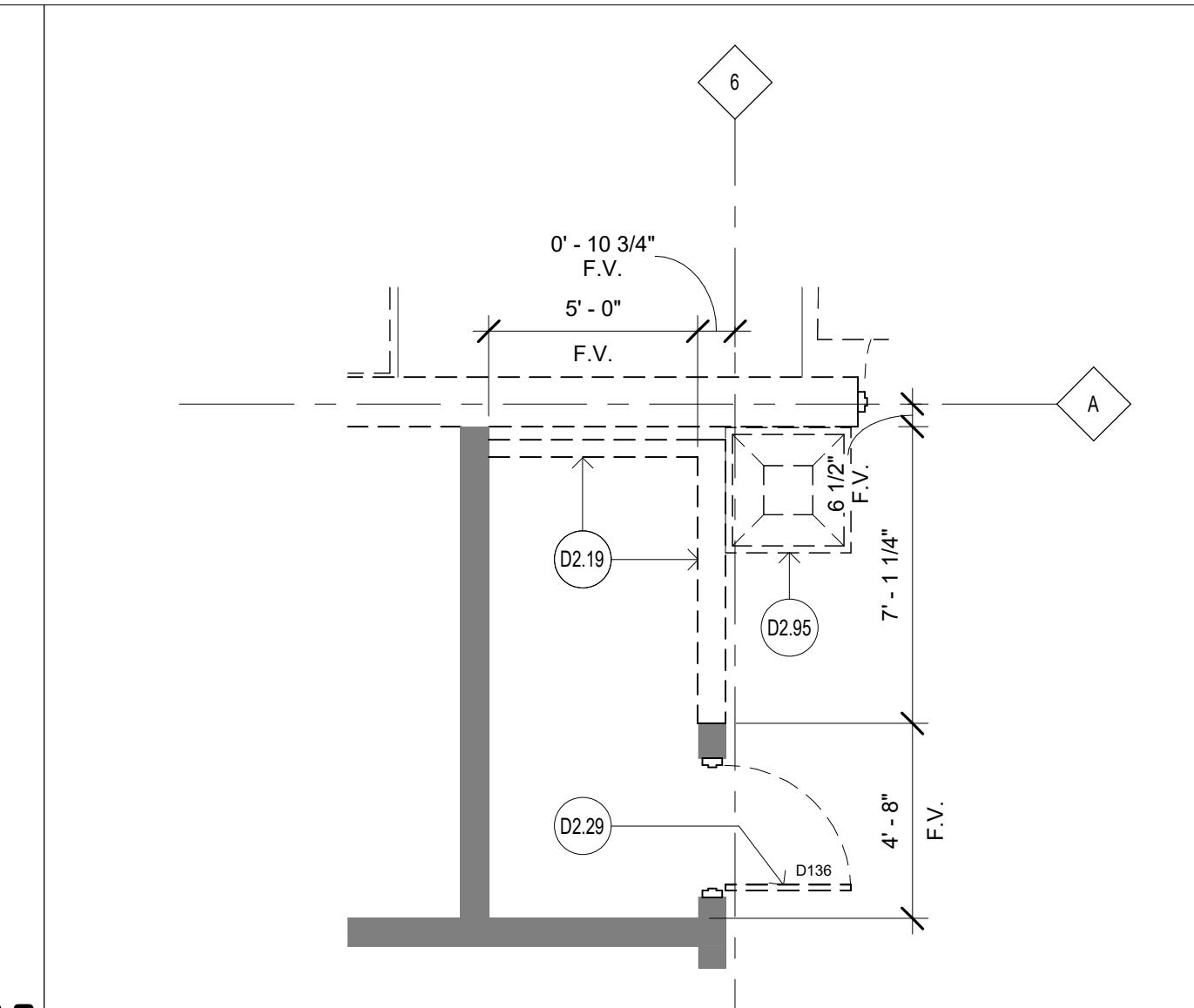
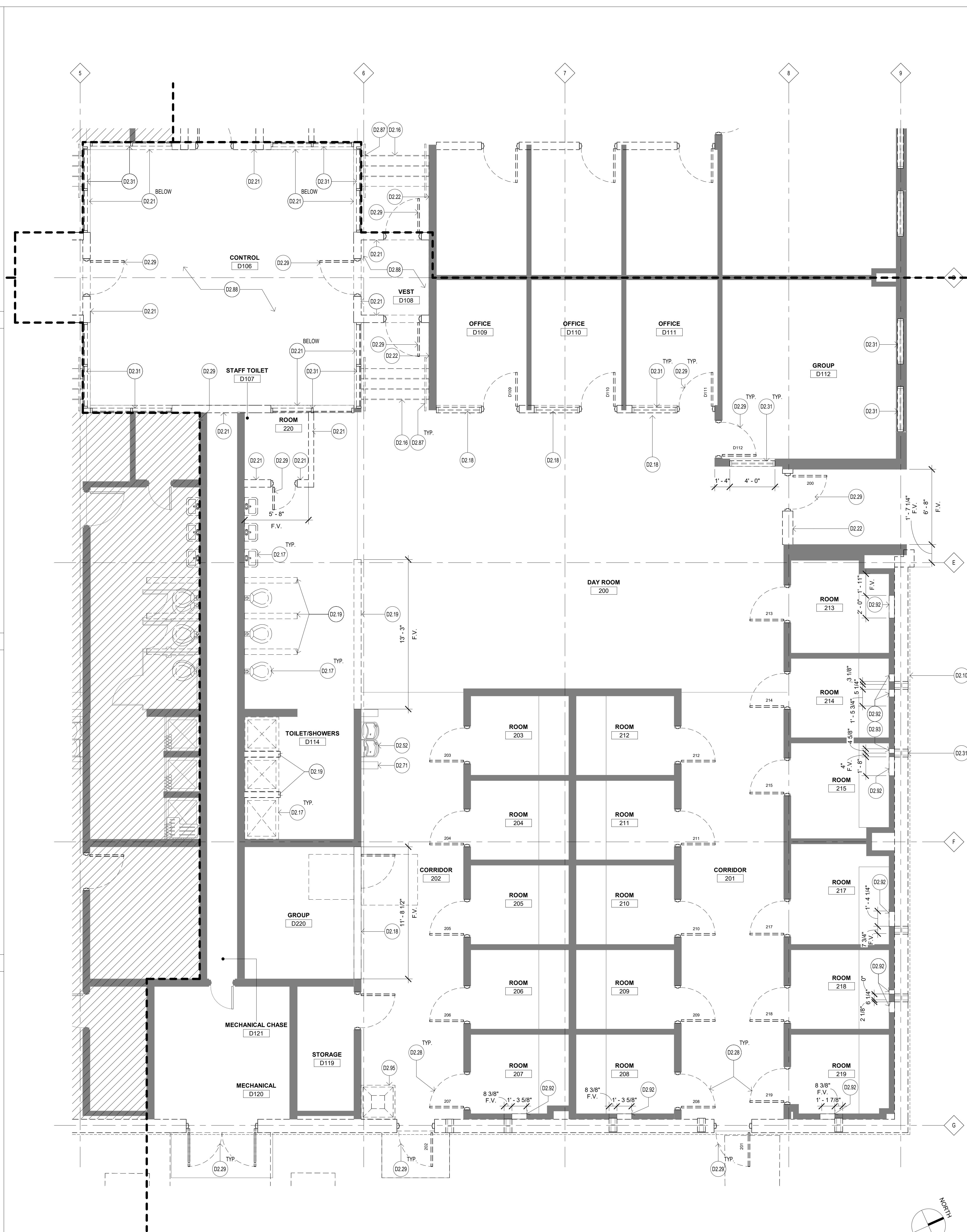
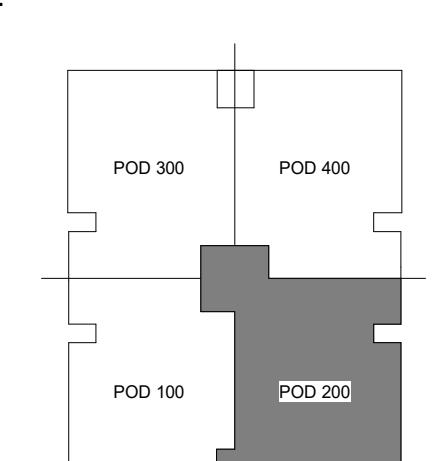
POD 100 INTERIOR N.I.C.

POD 200



NOTES:
1. ALL UNIT DOORS TO BE REPLACED.
2. REF. D.110 FOR TYPICAL DEMOLITION NOTES FOR ALL PODS, U.N.O.





ENLARGED FLOOR PLAN - D136 1/4" = 1'-0" 4

MODIFIED DEMOLITION SCOPE OF WORK

Mod Remediation demolition scope has been modified, so Demolition required by GC has been reduced. Listed below are items allocated to remediation in Renovation GC. Sheet note on D.101, D.110, D.111, D.121 and D.125 revised.

Mod Remediation Demolition scope of work (Not in Contract)

- All Interior Doors from hinges down will be removed.
- All exterior doors from frame to be demolished, no demolition.
- All CMU wall and interior dry wall will be wiped down, no demolition.
- All types of ceilings in POD 200 and 400 and all ceiling mounted lighting fixtures to be demolished.
- Reset floor, steel walls, windows, ceiling grid and ceiling tiles at Control Room to be demolished.
- Existing ductwork and existing smoke purge system to be demolished.

Renovation GC Demolition scope of work (In Contract)

- All Interior Door frames to be demolished as shown in the drawings.
- All exterior door frames to be demolished as shown in the drawings.
- All CMU wall and interior dry wall will be demolished as shown in drawings.
- Existing ductwork removal by remediation contractor may leave holes in the wall of the mechanical room/mezzanine floor or other spaces that needs to be patched and repaired.
- Exterior soft at entry canopy and exterior walls to be demolished as shown in the drawings.
- Existing roof patching at noted locations to be repaired and patched as noted in the drawings.

D.10 Remove metal wall panels and metal stud walls, structure to remain
D.16 Remove stair, patch and prepare surfaces for new floor finishes
D.17 Remove plumbing fixture as noted
D.18 Remove wall, door and window in this area to receive new hollow metal frame and door. Re: proposed floor plans.
D.19 Demo wall base, wall finish and wall where indicated, prepare for new construction
D.21 Remove wall, wall base, and floor finish
D.22 Remove wall, wall base, and floor finish
D.23 Remove wall, wall base, and floor finish
D.24 Remove wall, wall base, and floor finish
D.25 Remove door and frame, patch and prepare surface for new construction
D.26 Remove window and frame, prepare for new windows, refer to floor plans for opening size
D.27 Remove drinking fountain, prepare surface for new construction Re: MEP
D.28 Existing roof to remain
D.29 Existing railing, patch and prepare surface for new construction
D.30 Remove floor finishes, platform and platform structure, patch and prepare surface for new floor finishes
D.31 Remove interior CMU wall to receive new Window for new construction
D.32 Infill interior CMU wall to receive new Window for new construction
D.33 Remove mop sink, cap and remove plumbing fixture and drain, patch and prepare surface for new construction

ENLARGED PLAN NOTES:
1. POD - 200 AS SHOWN ON THIS PLAN
2. POD - 400 IDENTICAL TO THIS PLAN UNO.

KEYNOTES 2

NOT IN SCOPE
EXISTING TO REMAIN
EXISTING TO BE DEMOLISHED

NOTES:
1. TYPICAL DEMOLITION NOTES AT ALL PODS U.N.O.
2. ALL UNIT DOORS TO BE REPLACED WITH TYPE 1, REFERENCE A.820
3. DEMO ON POD 400 IDENTICAL TO POD 200, U.N.O.



DEMOS IMAGES - EXTERIOR ENTRY 2



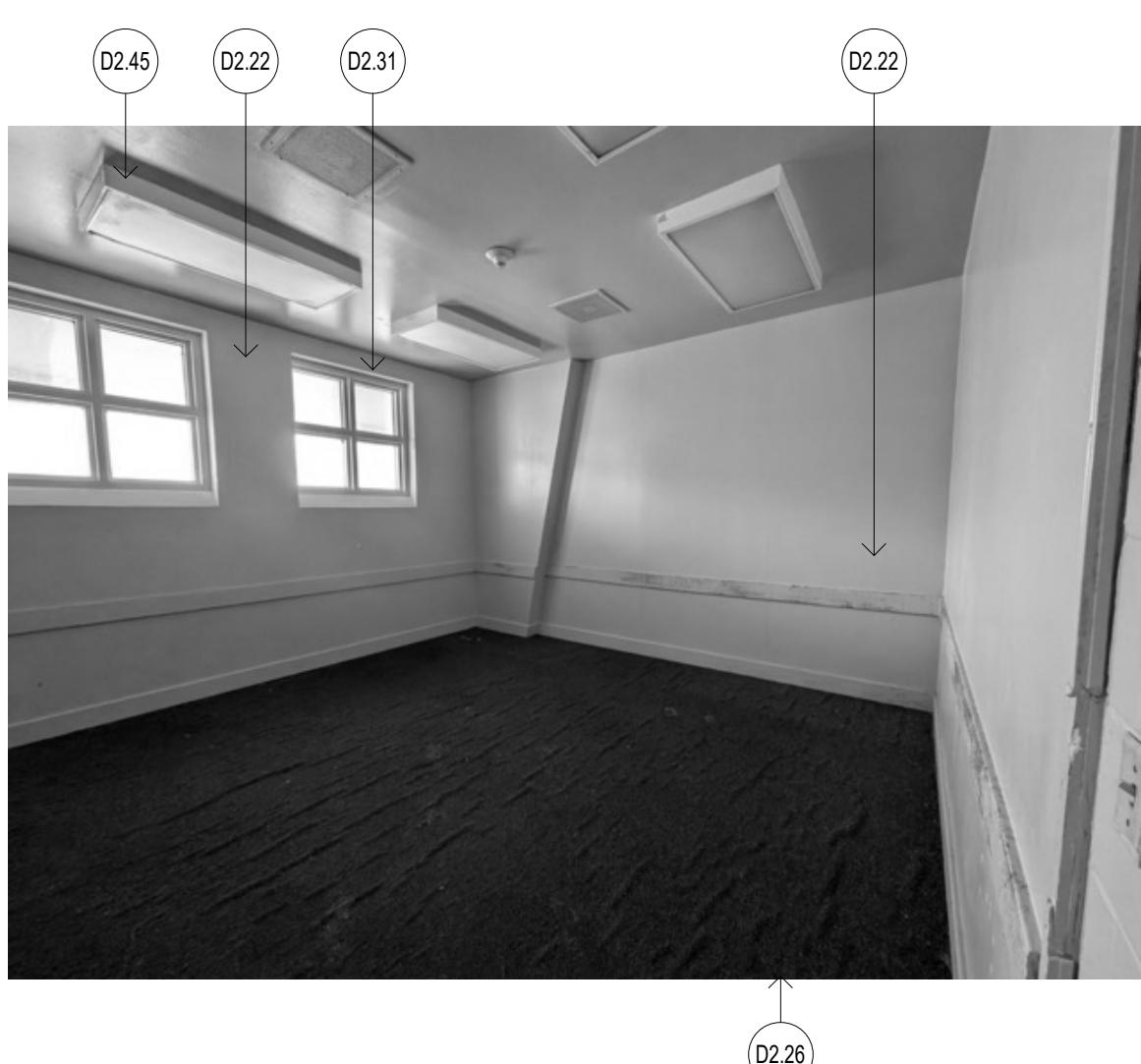
DEMOS IMAGES - STAFF TOILET



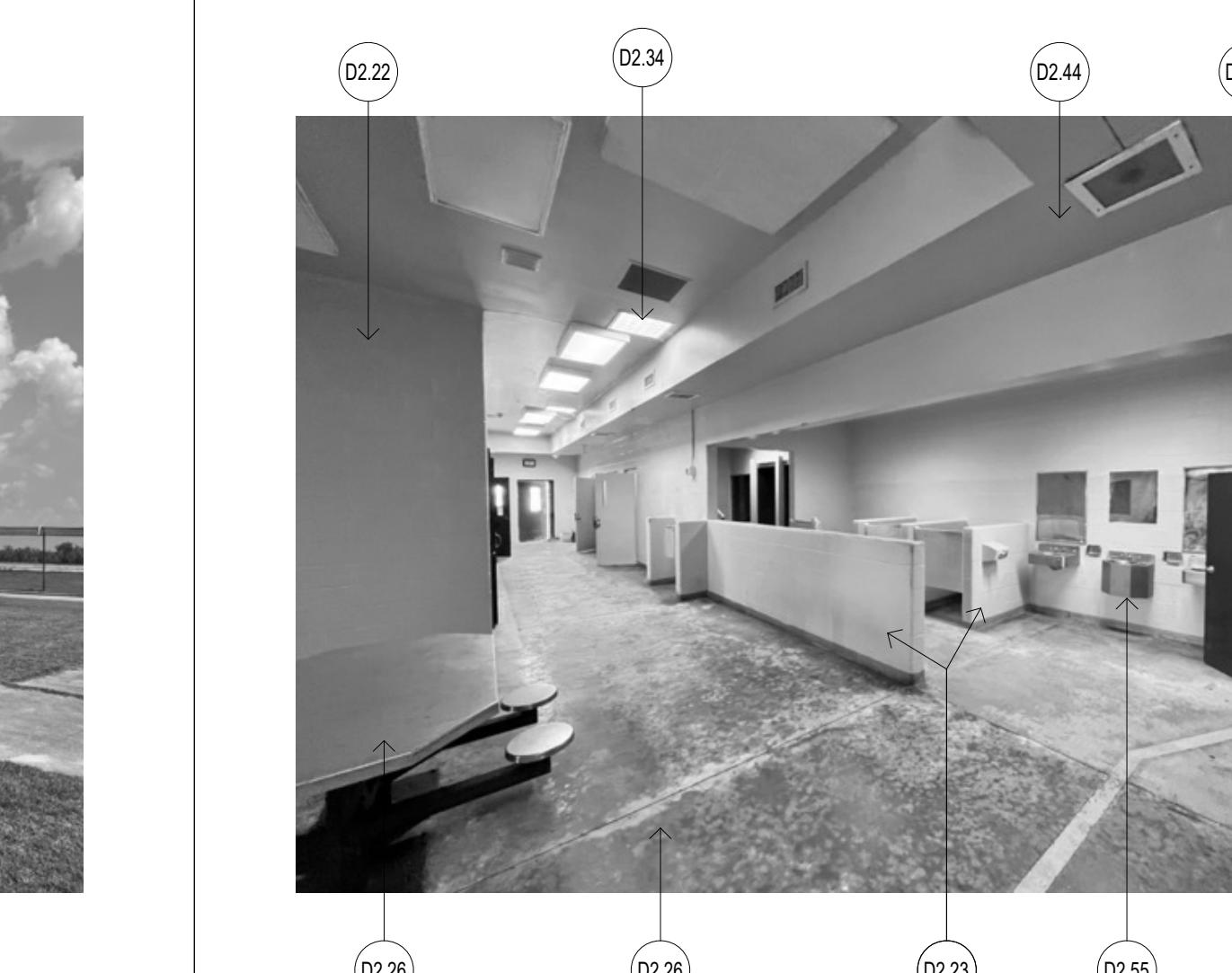
DEMOS IMAGES - CONTROL ROOM



4

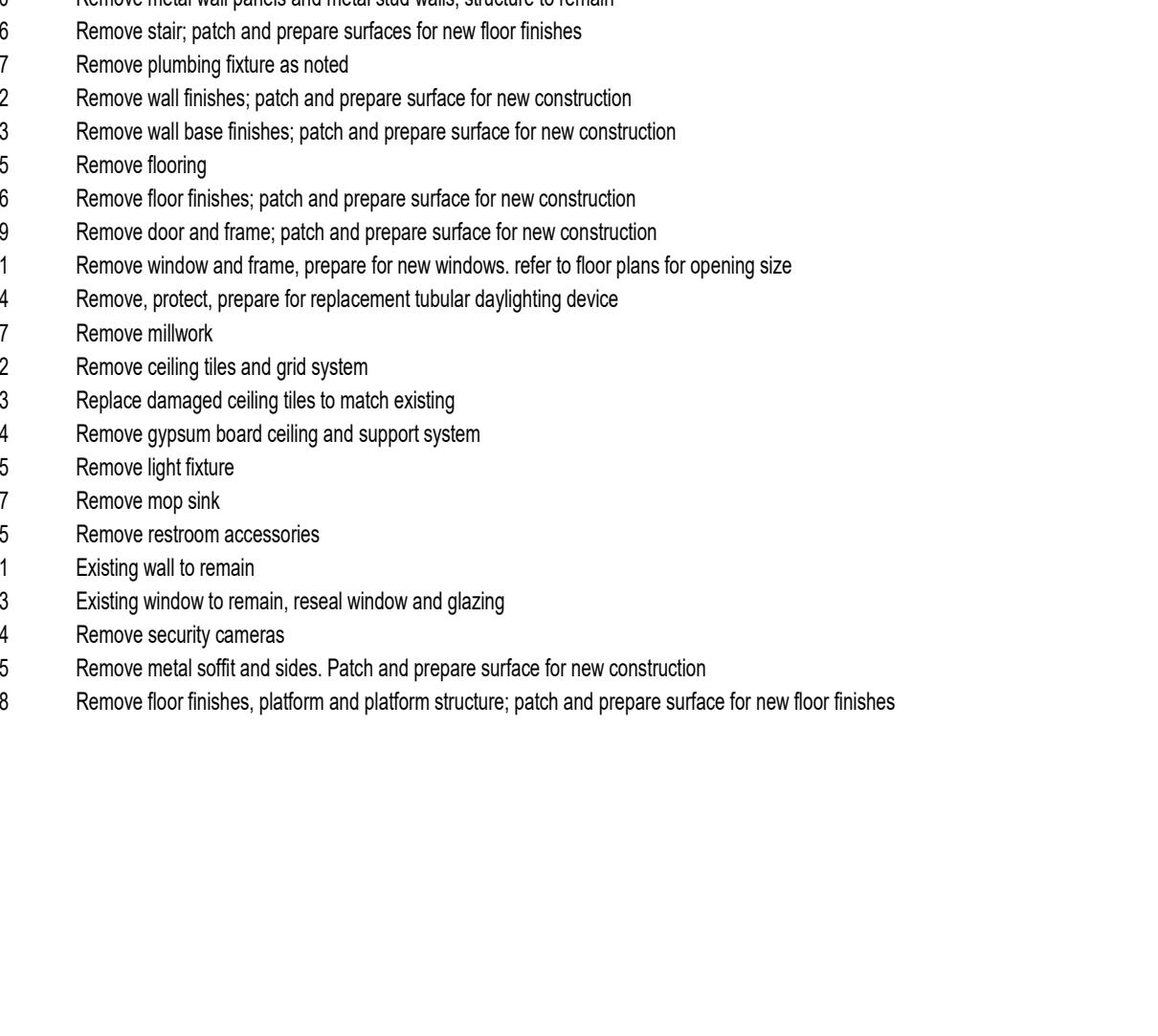


DEMOS IMAGES - EXTERIOR ENTRY



DEMOS IMAGES - WASHER/DRYER

7



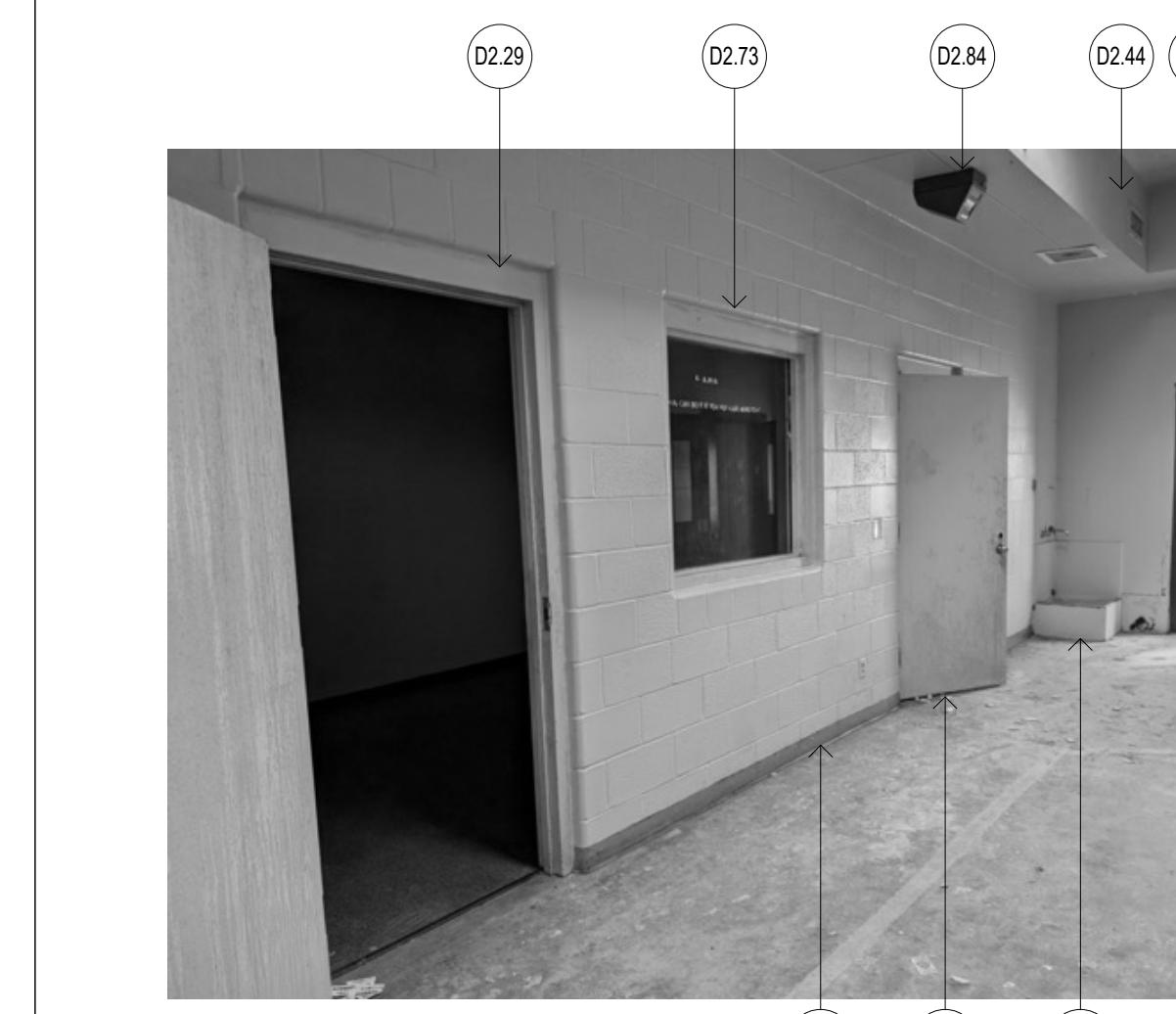
DEMOS IMAGES - PLATFORM STAIRS

3

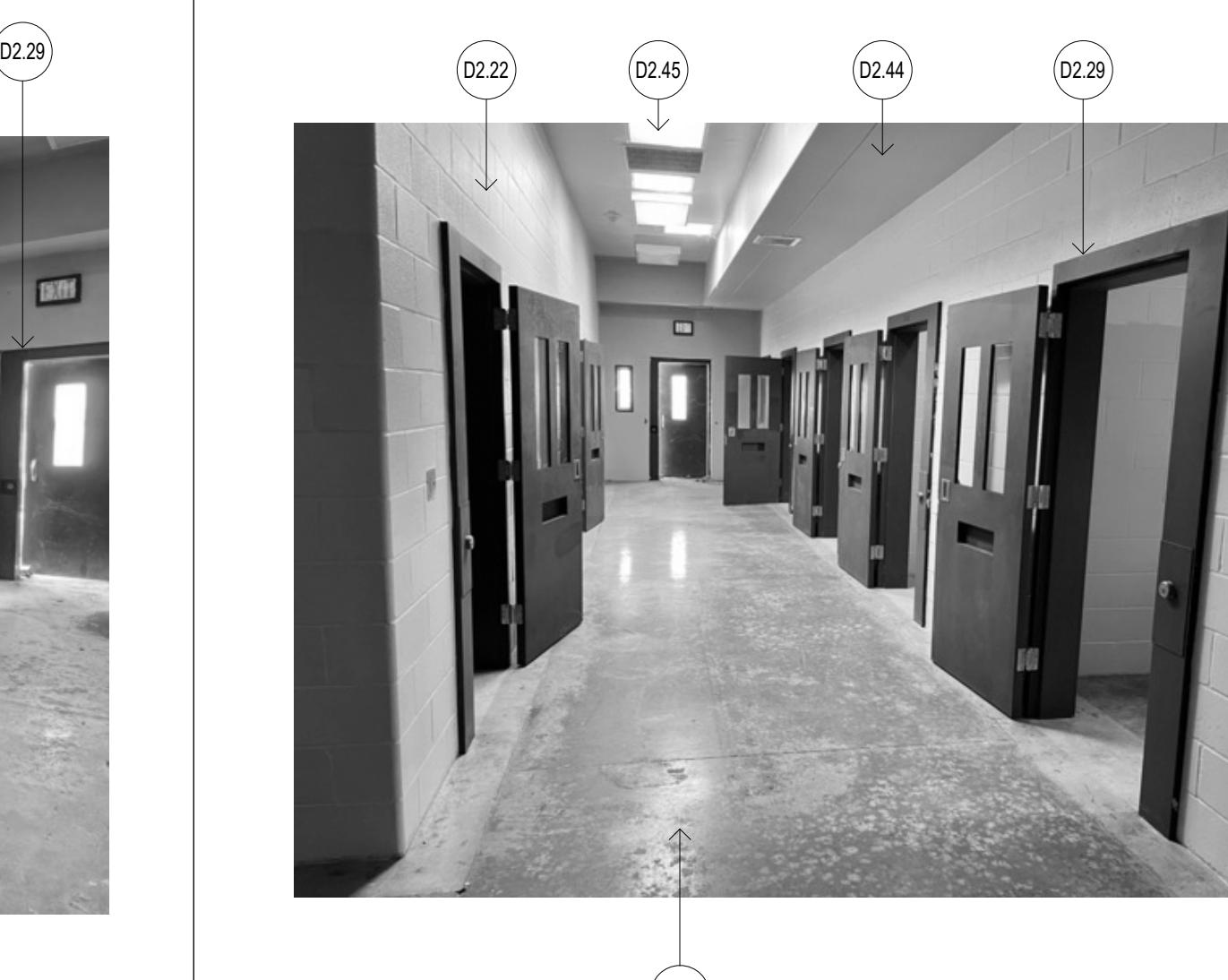
- D2.08 Remove concrete walk as indicated
- D2.10 Remove metal wall panels and metal stud walls, structure to remain
- D2.16 Remove stair, patch and prepare surfaces for new floor finishes
- D2.17 Remove wall finishes, patch and prepare surface for new construction
- D2.22 Remove wall finishes, patch and prepare surface for new construction
- D2.23 Remove floor finishes, patch and prepare surface for new construction
- D2.24 Remove floor finishes, patch and prepare surface for new construction
- D2.26 Remove door and frame, patch and prepare surface for new construction
- D2.31 Remove window and frame, prepare for new windows, refer to floor plans for opening size
- D2.34 Remove, protect, prepare for replacement tubular daylighting device
- D2.37 Remove millwork
- D2.42 Remove ceiling tiles and grid system
- D2.43 Replace damaged ceiling tiles to match existing
- D2.44 Remove gypsum board ceiling and support system
- D2.45 Remove light fixture
- D2.47 Remove sconce
- D2.50 Remove recessed lighting accessories
- D2.71 Existing to remain
- D2.73 Existing window to remain, reseal window and glazing
- D2.84 Remove security cameras
- D2.85 Remove metal soffit and sides. Patch and prepare surface for new construction
- D2.88 Remove floor finishes, platform and platform structure; patch and prepare surface for new floor finishes



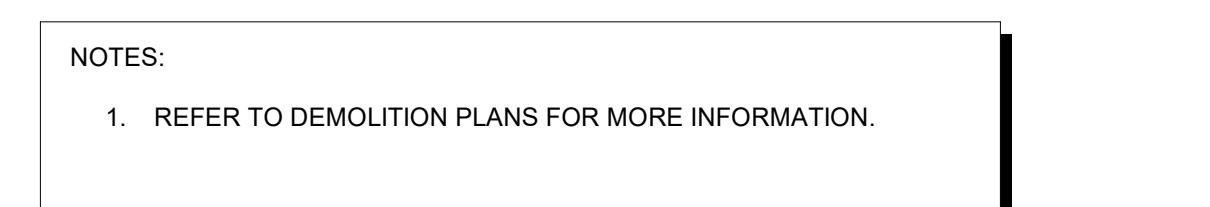
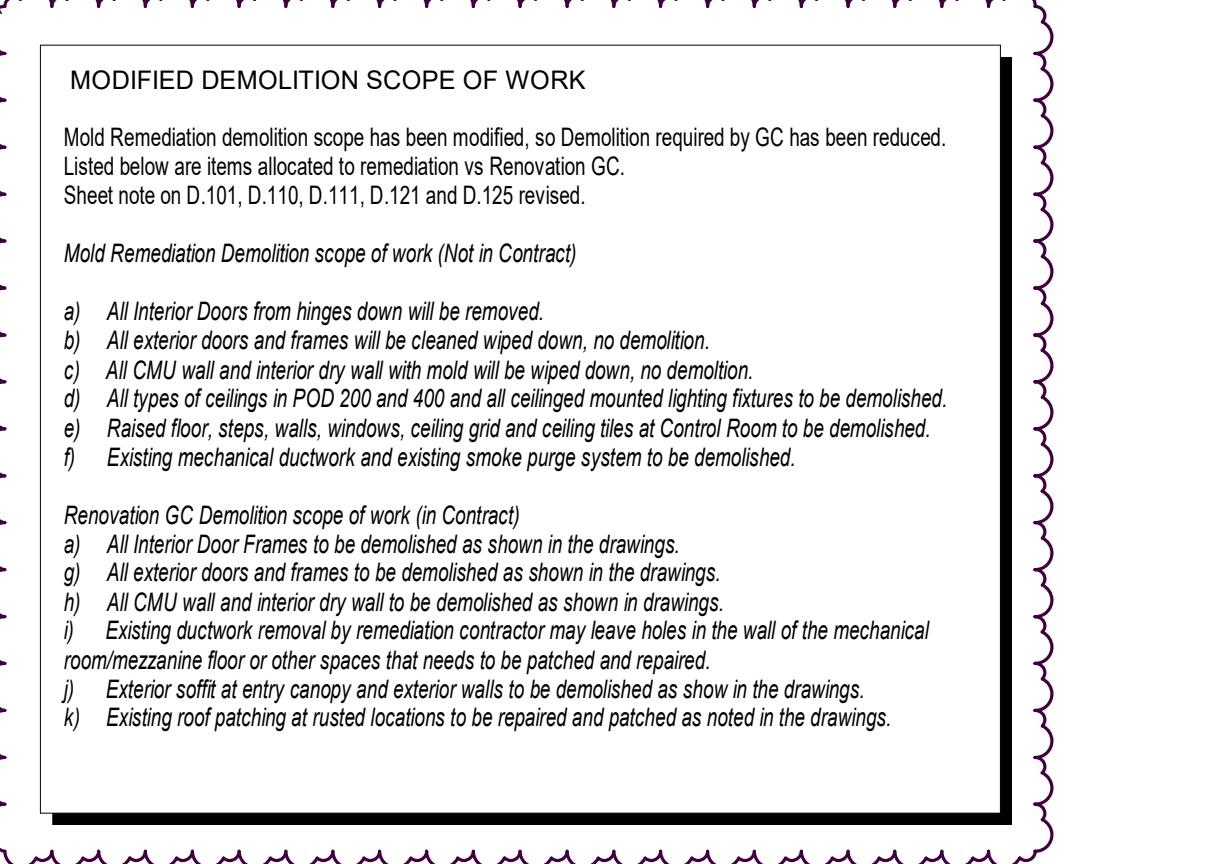
DEMOS IMAGES - EXTERIOR



DEMOS IMAGES - TOILET/SHOWERS



KEYNOTES



2

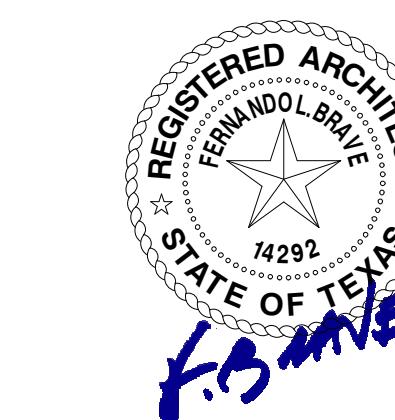
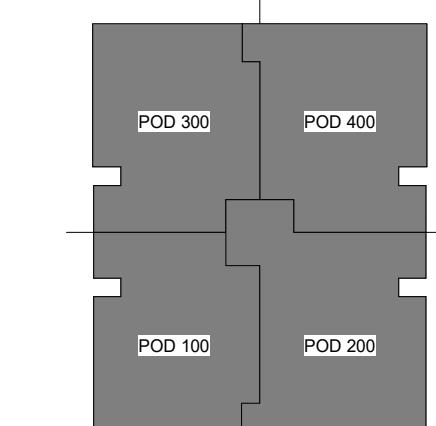
DEMOS IMAGES - SLEEPING UNIT

DEMOS IMAGES - CORRIDOR 2

DEMOS IMAGES - CORRIDOR

LEGEND

1

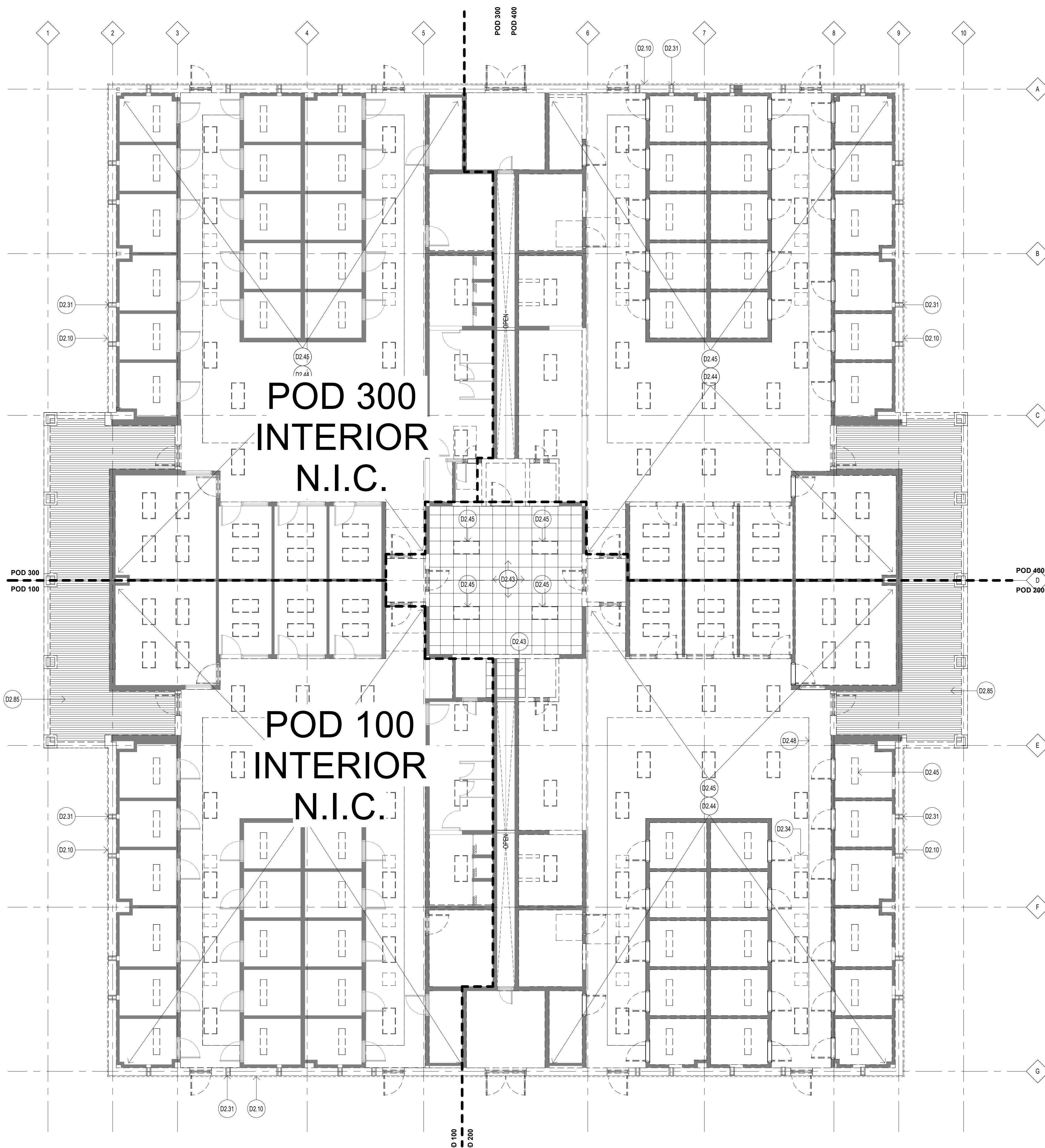


POD 400

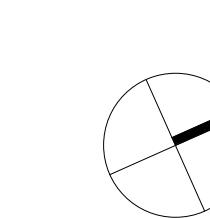
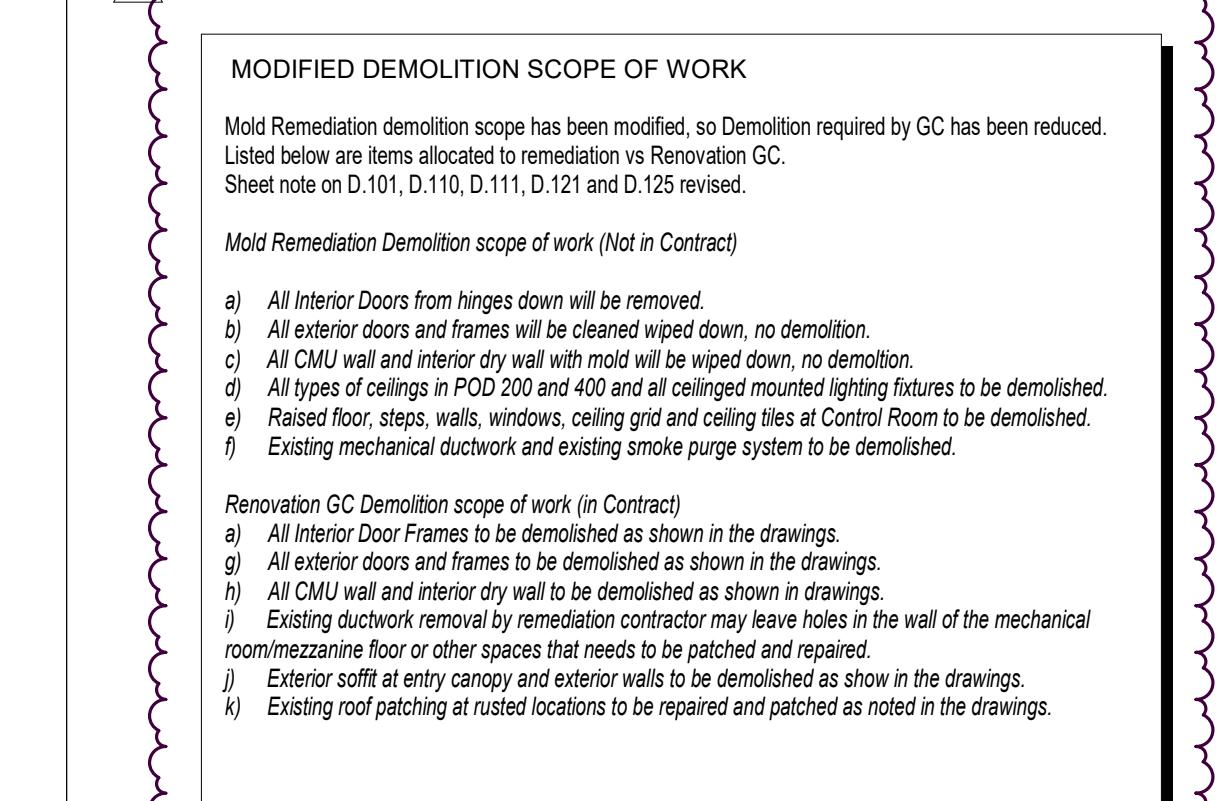
POD 300 INTERIOR N.I.C.

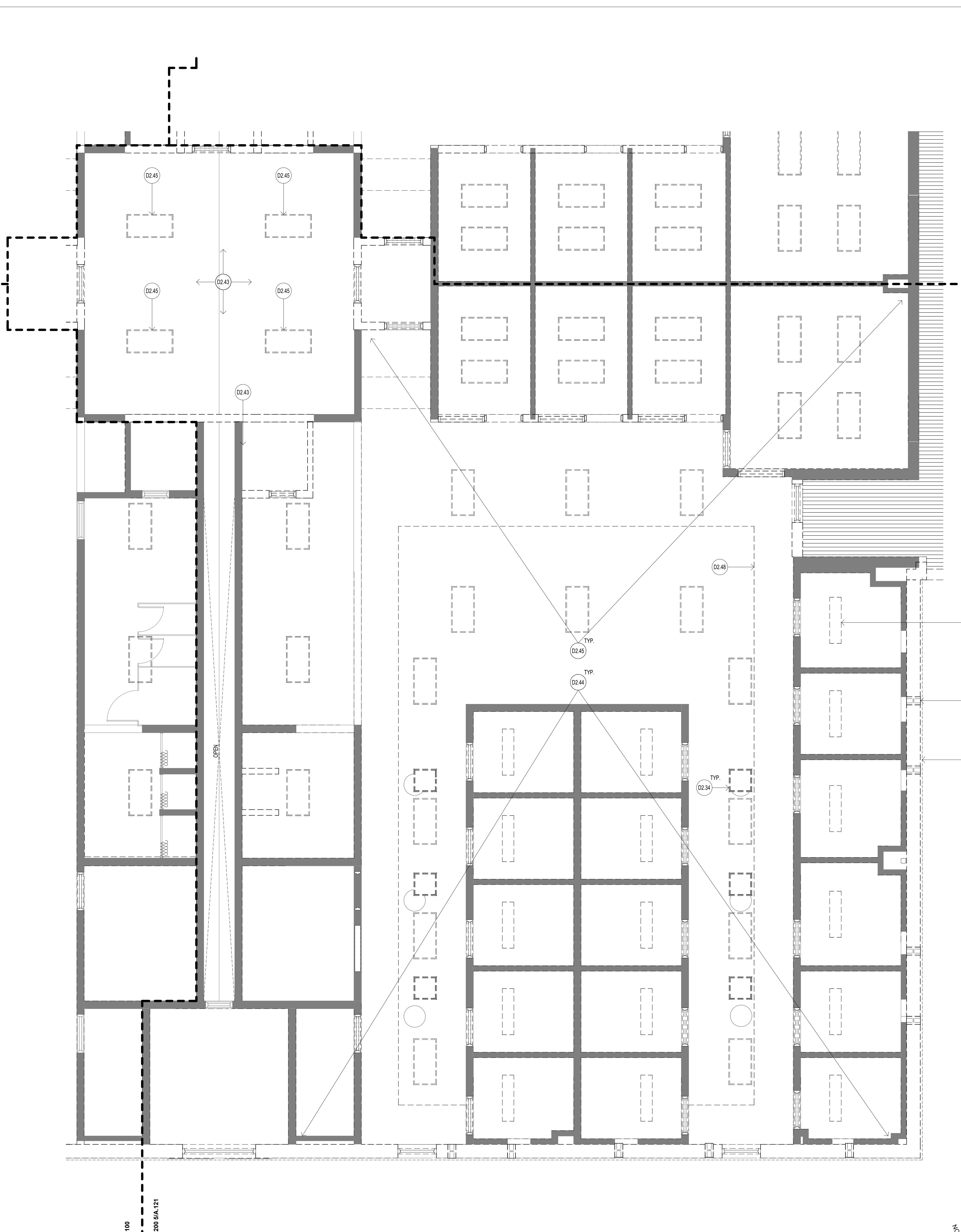
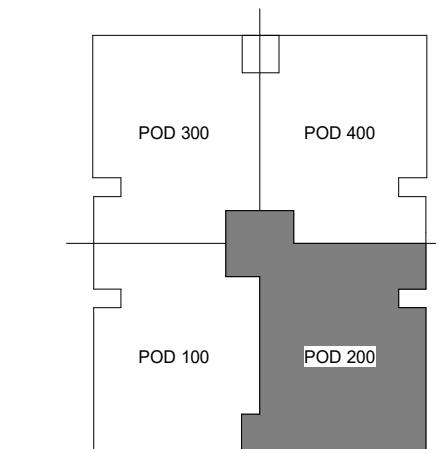
POD 100 INTERIOR N.I.C.

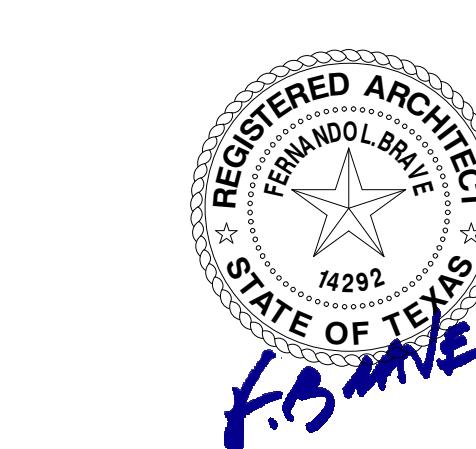
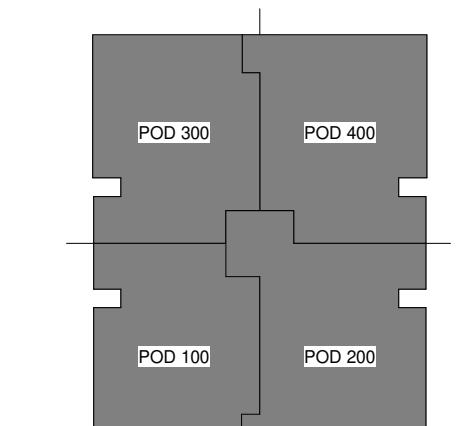
POD 200



KEYNOTES





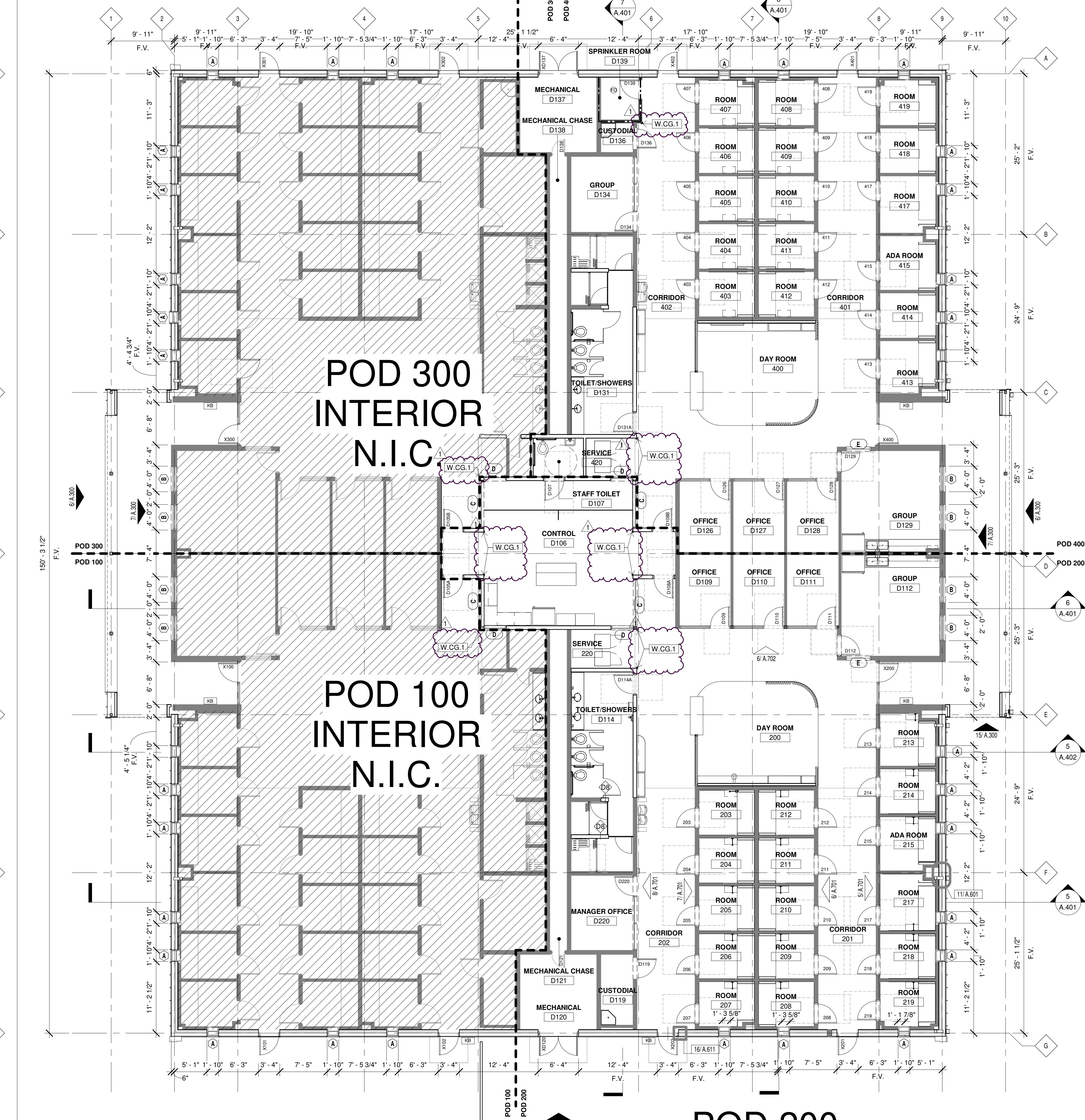
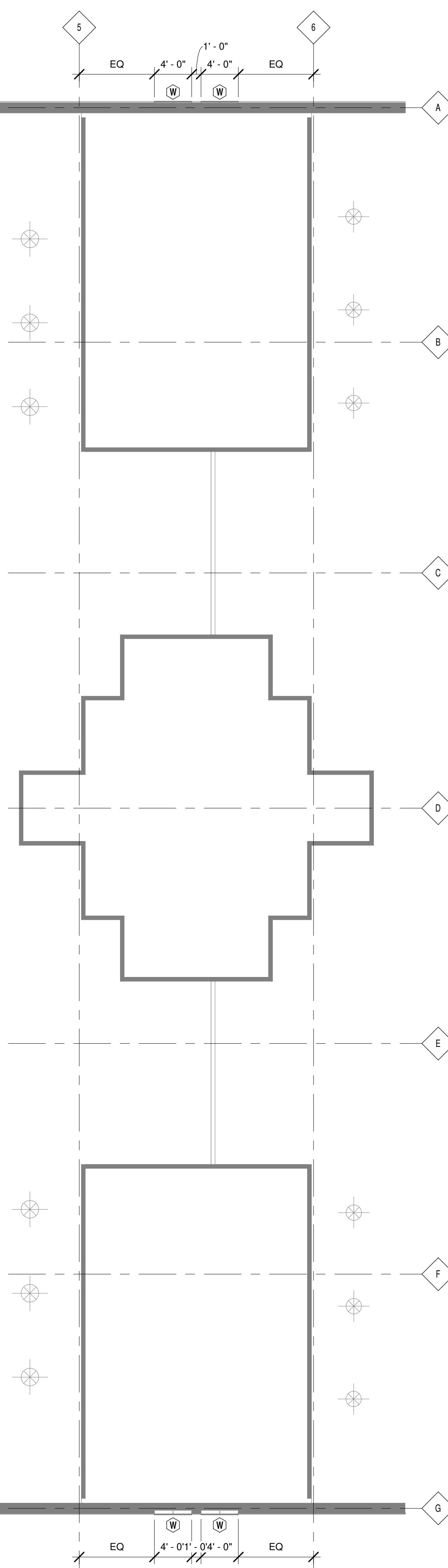


POD 400

POD 300 INTERIOR N.I.C.

POD 100 INTERIOR N.I.C.

POD 200



NOTES:
1. EXTERIOR WORK INCLUDES NEW WALL CONSTRUCTION, NEW WALL METAL PANELS, NEW RECOVERY ROOFING SYSTEM, NEW WINDOWS AND NEW EXTERIOR DOORS OF THE ENTIRE BUILDING.
2. INTERIOR BUILDING OUT INCLUDES UPGRADING INTERIOR WALL AND FINISHES OF POD 200 AND POD 400 INCLUDING CONTROL ROOM, ALL MECHANICAL SPACES AND MEZZANINE FLOOR.
3. SPRINKLER HEAD INSTALLATION AND RELATED WORK INCLUDED FOR ENTIRE BUILDING. PHASE I INCLUDES EXTERIOR.
4. REFERENCE A.110 FOR TYPICAL NEW CONSTRUCTION NOTES, U.N.O.
5. ALL DIMENSIONS TO BE FIELD VERIFIED

KEYNOTES

- NOT IN SCOPE
- EXISTING WALLS
- NEW CONSTRUCTION
- MATCH LINES



EXTERIOR FINISH SCHEDULE						
FINISH MARK	ITEM	MANUFACTURER	MANUFACTURER NUMBER	MANUFACTURER NAME	FINISH	COMMENTS
MP.1	METAL PANEL	MORIN	238		BONE WHITE	MORIN PANELS MATRIX-3, MATRIX-4, AND MATRIX-10 TO BE USED. SEE FA.301 FOR PATTERN
MP.2	METAL PANEL	MCELROY METAL			CHARTREUSE	288 WALL SYSTEM TO BE APPLIED TO ROOF AND WALLS. 24" WIDE PANELS
MP.3	METAL PANEL	MCELROY METAL			SURREY BEIGE	
STC.1	STUCCO				SMOOTH	3 LAYER PORTLAND CEMENT PLASTER. PAINTED. COLOR TO BE SELECTED BY ARCHITECT
PT.1	KYNAR FINISH				SMOOTH	COLUMN COVER. COLOR TO BE SELECTED BY ARCHITECT
PT.2	PAINT	SHERWIN WILLIAMS			ACCENT PAINT	
WD.1	IPE WOOD	US LUMBER BROKERS				1 X 6 IPE PLANKS, STAIN GRADE: GC TO PROVIDE 3 STAIN SAMPLES

FINISH SCHEDULE - EXTERIOR	8
----------------------------	---

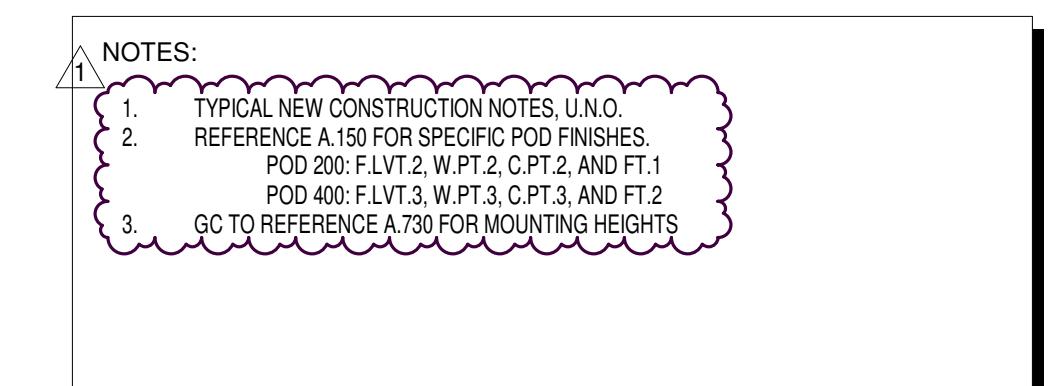
FINISH SCHEDULE						
FINISH MARK	ITEM	MANUFACTURER	MANUFACTURER NUMBER	MANUFACTURER NAME	FINISH	COMMENTS
FLOOR						
F.EP.1	EPOXY FLOOR					
F.CONC.1	SEALED CONCRETE					
F.LVT.1	LUXURY VINYL TILE	TARKETT	0976		CONTOUR	WOVEN REED SLEEK NEW CORRIDORS/GROUP ROOMS/CONTROL ROOM
F.LVT.2	LUXURY VINYL TILE	TARKETT	C127		COLOR POP	BERMUDA DANROOM 200
F.LVT.3	LUXURY VINYL TILE	TARKETT	C177		COLOR POP	SUNBEAM DANROOM 400
F.SV.1	SCHEET VINYL	TARKETT	0296		IQ GRANIT	WARM GREY SLEEPING UNITS
BASE						
B.RB.1	RUBBER BASE	TARKETT	TS825	JOHNSONITE	FAWN	4" RUBBER BASE SLEEPING UNITS
B.SV.1	SCHEET VINYL	TARKETT	0296		WARM GREY	
B.EP.1	EPOXY BASE					
WALL						
W.PT.1	PAINT 1	SHERWIN WILLIAMS	SW757	HIGH REFLECTIVE WHITE	SEMI GLOSS	ALL WALLS TO BE W.PT.1 U.N.O.
W.PT.2	ACCENT PAINT	SHERWIN WILLIAMS	SW6759	COOLED BLUE	SEMI GLOSS	POD 200
W.PT.3	ACCENT PAINT	SHERWIN WILLIAMS	SW9019	GOLDEN PLUMERIA	SEMI GLOSS	POD 400
W.DR.1	WOOD SLAT WALL	EMSER		SLAT BACKPLATE	WALNUT	
W.CT.1	CERAMIC TILE 4" X 10"	EMSER		CATCH GLOSSY	WALNUT	TILE AT RESTROOMS UP TO 8' AFF
W.SL.1	SCHEET VINYL			WALNUT	WALNUT	SLEEPING UNITS
W.CG.1	CORNER GUARD	INPRO		INPRO	INPRO	STAINLESS STEEL 13 1/2"
CEILING						
CACT.1	2 X 2 MINERAL WOOL CEILING TILES	ROCKFON	SLN	ALASKA	WHITE	
C.PT.1	PAINT 1	SHERWIN WILLIAMS	SW757	HIGH REFLECTIVE WHITE	SEMI GLOSS	ALL CEILINGS TO BE C.PT.1 U.N.O.
C.PT.2	ACCENT PAINT	SHERWIN WILLIAMS	SW6759	COOLED BLUE	SEMI GLOSS	POD 200
C.PT.3	ACCENT PAINT	SHERWIN WILLIAMS	SW9019	GOLDEN PLUMERIA	SEMI GLOSS	POD 400
MILLWORK						
M.PL.1	PLASTIC LAMINATE 1	WILSONART	7987-38	PAISADAS OAK	FINE VELVET	
M.PL.2	MELAMINE	FORMICA	459-58	BRITE WHITE	MATTE FINISH	CABINET, SHELVING, AND DRAWER INTERIORS
M.QZ.1	QUARTZ	COSENTINO		SILESTONE	ET STUARO	ALL COUNTERTOPS
MISC.						
FT.1	FELT ACOUSTICAL PANEL	ACOUFELT	PE20	PEACOCK	SOLID. 12MM	1. TYP. IN POD 200, GC TO INSTALL WITH REQUIRED MOUNTING ACCESSORIES AS NEEDED FOR CEILING AND WALL MOUNTING AS PER MANUFACTURERS RECOMMENDATIONS 2. TYP. IN POD 400, GC TO INSTALL WITH REQUIRED MOUNTING ACCESSORIES AS NEEDED FOR CEILING AND WALL MOUNTING AS PER MANUFACTURERS RECOMMENDATIONS
FT.2	FELT ACOUSTICAL PANEL	ACOUFELT	BU07	BUTTER	SOLID. 12MM	

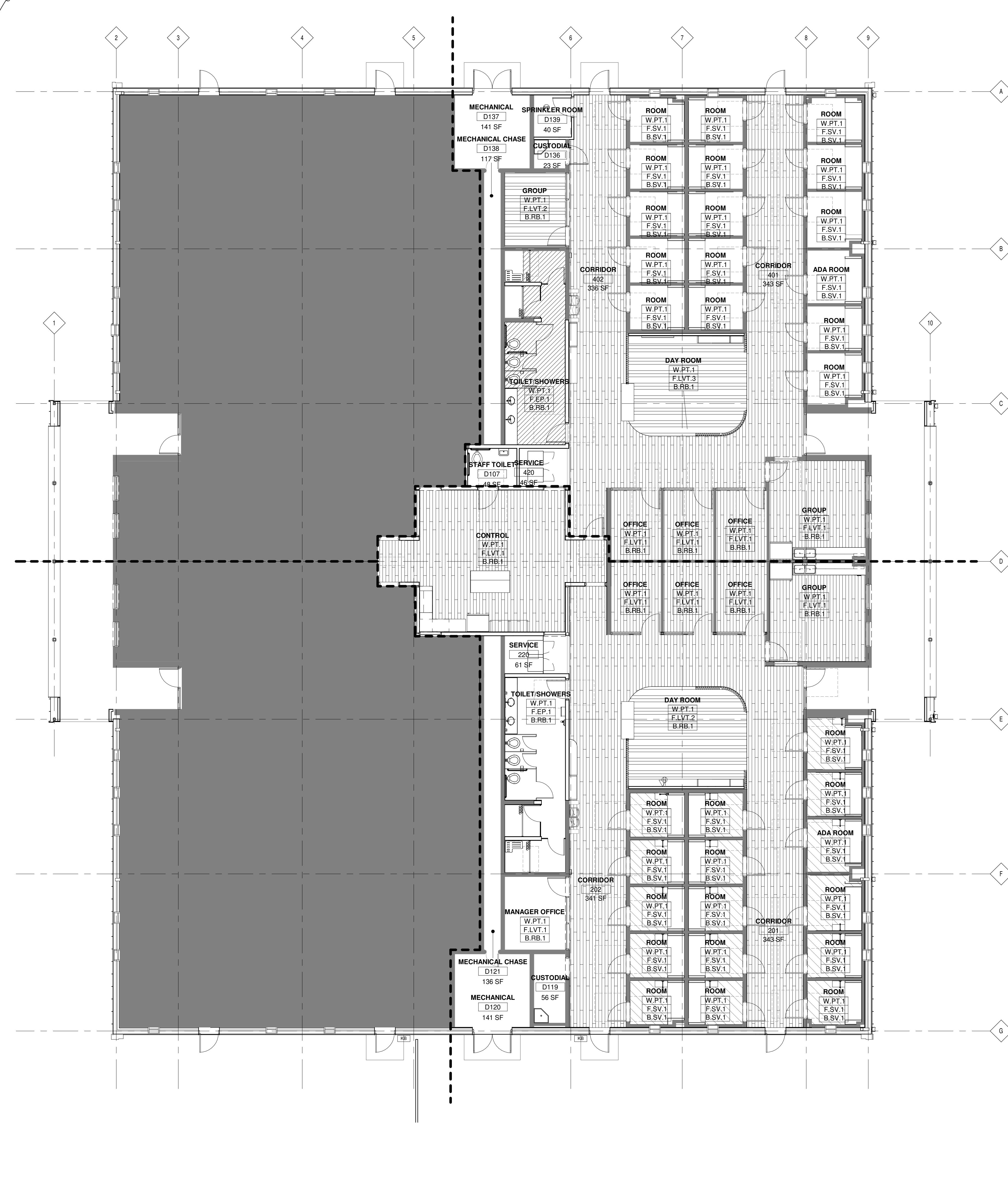
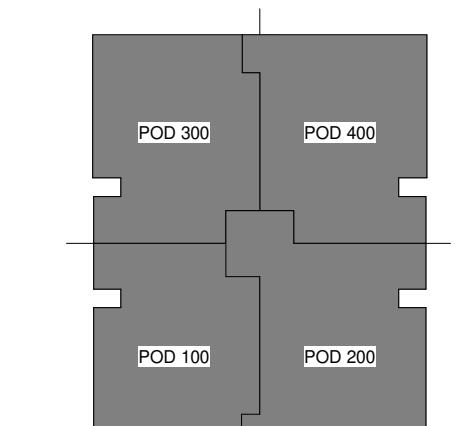
FINISH SCHEDULE - INTERIOR	6
----------------------------	---

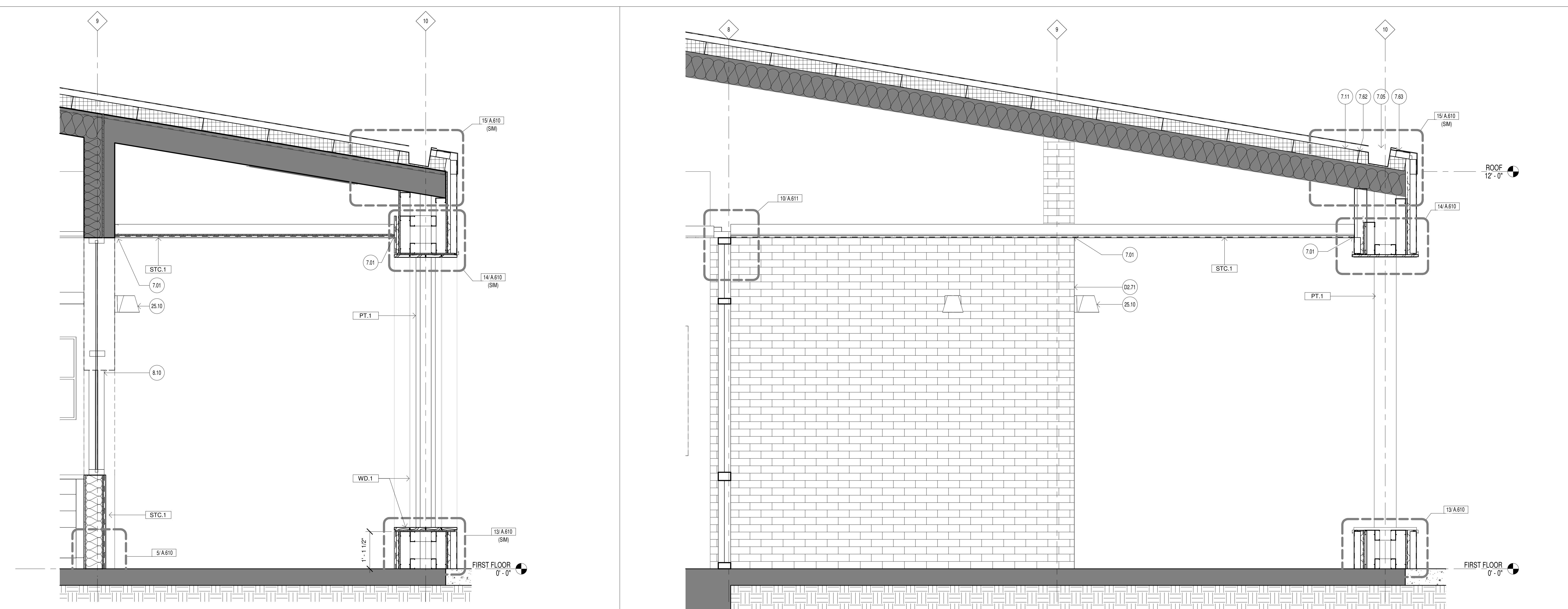
TOILET ACCESSORIES SCHEDULE						
TAG	ITEM	MANUFACTURER	DESCRIPTION	MODEL	FINISH	COMMENTS
TA.1	TOILET PARTITIONS	BOBRICK	STANDARD PRIVACY, FLOOR MOUNTED			TOILET ENCLOSURES AND ENTRANCE SCREENS
TA.2	36" GRAB BAR	BOBRICK	1 1/2" DIAMETER GRAB BAR W/ SNAP FLANGE & PEENED GRIPPING SURFACE	B-6950-99-X-36	STAINLESS STEEL SATIN	
TA.3	42" GRAB BAR	BOBRICK	1 1/2" DIAMETER GRAB BAR W/ SNAP FLANGE & PEENED GRIPPING SURFACE	B-6950-99-X-42	STAINLESS STEEL SATIN	
TA.4	TOILET PAPER TISSUE DISPENSER	TORK	DOUBLE-ROLL TOILET TISSUE DISPENSER	H-1347	SMOKE	
TA.5	SANITARY NAPKIN DISPOSAL	BOBRICK	CONTURA SERIES SANITARY NAPKIN DISPOSAL	B-270	STAINLESS STEEL SATIN	
TA.6	MIRROR	BOBRICK	FRAMED STAINLESS STEEL CHANNEL MIRROR	B-165	STAINLESS STEEL SATIN	
TA.7	HAND DRYER	EXCEL DRYER	XLERATOR HAND DRYER	XL-SS	BRUSHED STAINLESS STEEL	
TA.8	COAT HOOK	BOBRICK	ROBE HOOK (DOUBLE)	B-6727	STAINLESS STEEL SATIN	
TA.9	SOAP DISPENSER	ECOLAB	SURFACE MOUNTED SOAP DISPENSER	EL-9202192	BLACK	
TA.10	TRASH RECEPTEACLE	BOBRICK	surface mounted waste receptacle	B-35649	STAINLESS STEEL SATIN	
TA.11	CURTAIN ROD	BOBRICK	CLASSIC SERIES EXTRA-HEAVY-DUTY SHOWER CURTAIN ROD	B-6107-X-36	BOBRICK SATIN	
TA.12	SHOWER SEAT	BOBRICK	REVERSIBLE FOLDING SHOWER SEAT	B-5181	STAINLESS STEEL	

TOILET ACCESSORY SCHEDULE

LEGEND





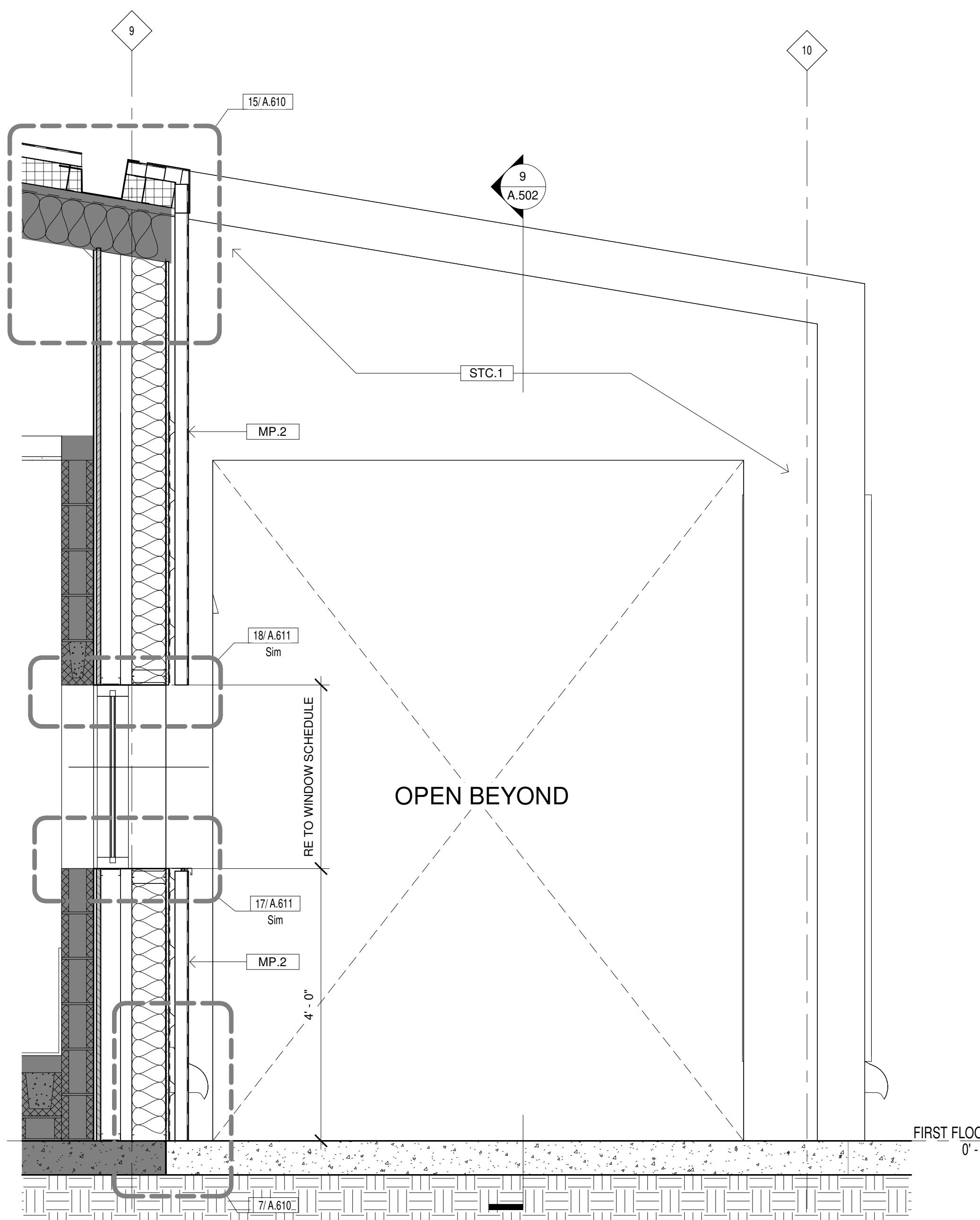


WALL SECTION TYP - ENTRY CANOPY

3/4" = 1'-0" 13

WALL SECTION TYP - ENTRY PORCH

3/4" = 1'-0" 3



WALL SECTION TYP EAST-WEST

3/4" = 1'-0" 11

WALL SECTION THRU ENTRY CANOPY 3/4" = 1'-0" 9

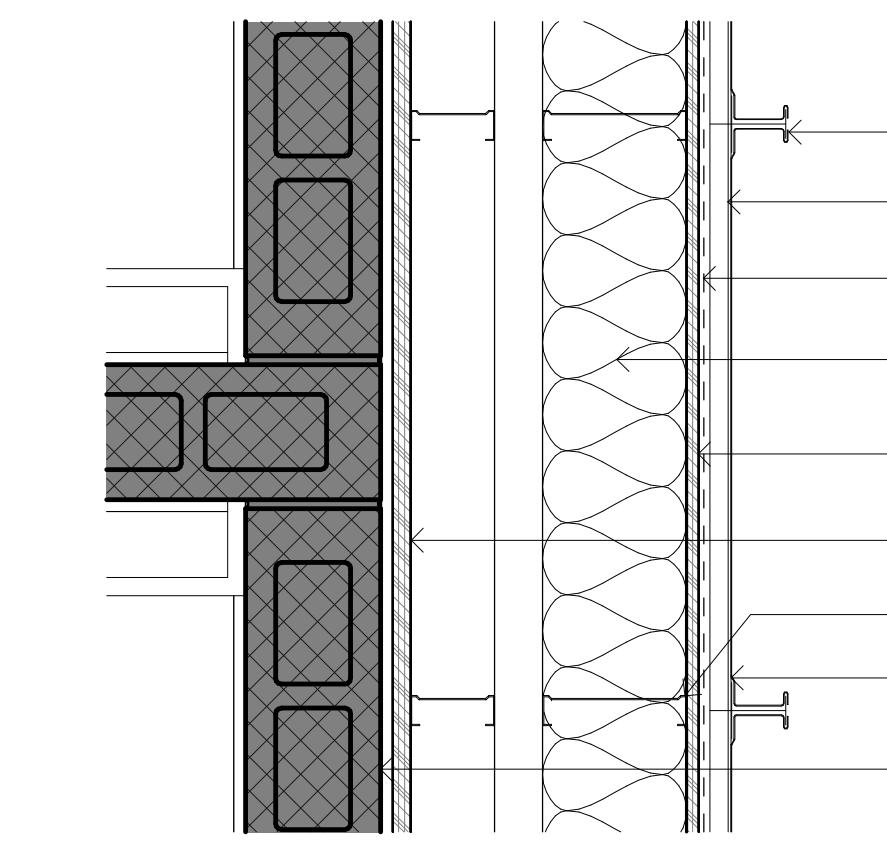
WALL SECTION TYP NORTH-SOUTH 3/4" = 1'-0" 5



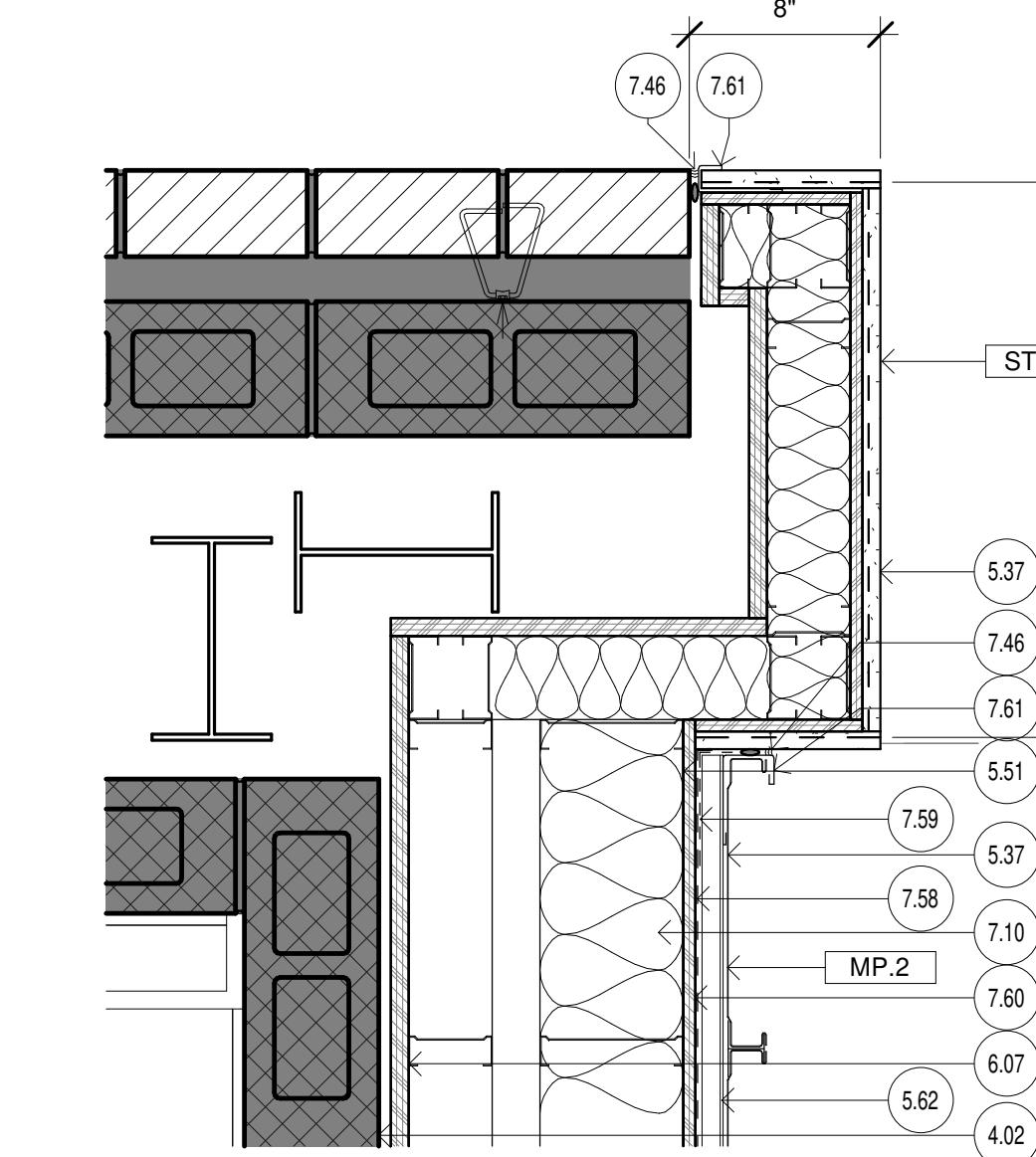
LEGEND

1

A.502

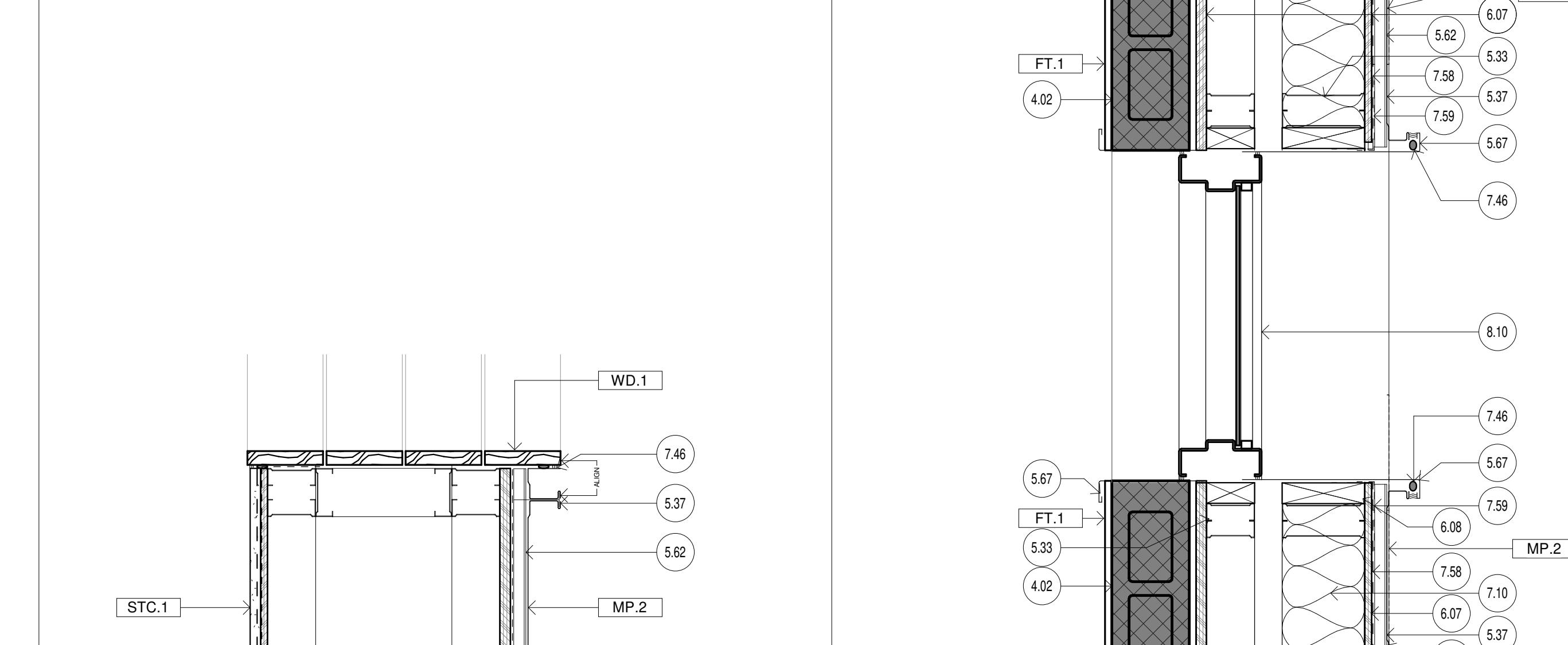


METAL PANEL @ BRICK FACADE 1 1/2" = 1'-0" 8



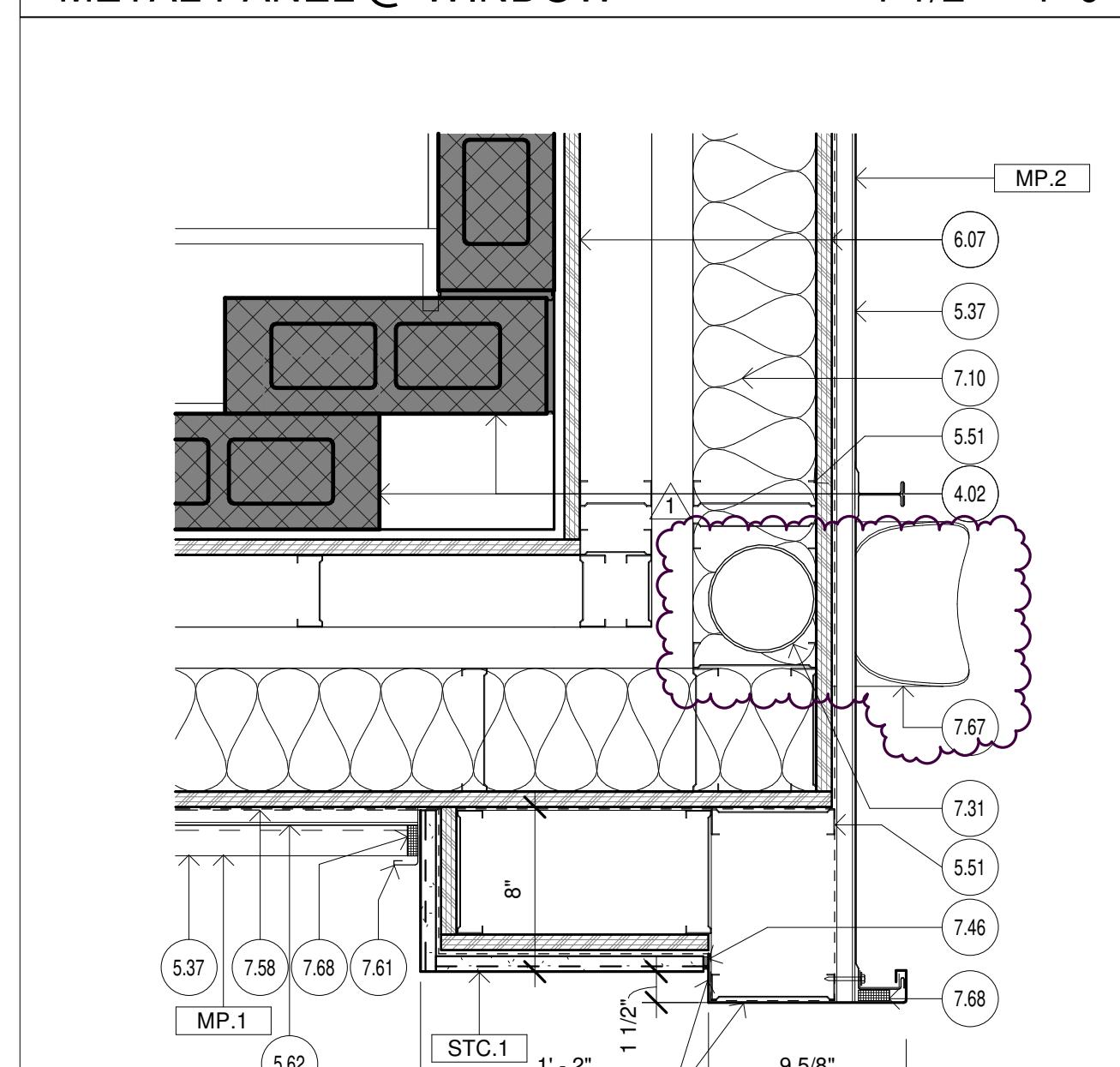
DOWNSPOUT PLAN DETAIL 1 1/2" = 1'-0" 11

METAL PANEL @ BRICK CORNER 1 1/2" = 1'-0" 7



4.02 6" thick standard CMU, re: Finish schedule
5.01 Steel column, re: Structural
5.33 Double studs at all exterior door and window jambs, full height
5.37 New metal panel on existing structure, re: Finish Schedule
5.51 6" galvanized CMF, re: Structural
5.62 7/8" Hat channel
5.63 Pre-painted black metal to match adjacent hollow metal frame
5.71 3 1/2" mesh stucco
6.08 Treated wood blocking as required
6.09 Batt insulation: depth of insulation to match depth of wall stud, unless noted otherwise
7.31 Metal downspout boot to connect to splash block
7.46 Backer rod and sealant
7.58 Fluid applied air and water barrier
7.59 Self-adhered air and water barrier
7.60 1/2" Gypsum sheathing
7.61 J-trim
7.67 Bird screen for nickel-bronze downspout nozzle
7.68 Outside foam closure
8.10 Scheduled window, re: Window schedule

METAL PANEL @ WINDOW 1 1/2" = 1'-0" 6



NOTES:
THE FOLLOWING INSULATION VALUES TO BE USED PER IBC TABLE C402.1
ROOFS:
ABOVE DECK: R-25i
METAL BUILDINGS: R-19 + R-11 LS
WALLS, ABOVE GRADE:
METAL BUILDING: R-13 + R-6.5i
METAL FRAMED: R-13 + R-5i

COLUMN COVER @ FRONT CANOPY 1 1/2" = 1'-0" 9

EXTERIOR CORNER DETAIL 1 1/2" = 1'-0" 5

LEGEND 1



	JAMB @ HM DOOR 3" = 1'-0" 16		HEADER @ HM DOOR 3" = 1'-0" 12		DETAIL @ STUCCO/BRICK 3" = 1'-0" 8	4		
	HM JAMB @ HORIZONTAL PANEL 3" = 1'-0" 19		HM JAMB @ VERTICAL PANEL 3" = 1'-0" 15		STOREFRONT JAMB @ ENTRY 3" = 1'-0" 11	HM JAMB @ EXISTING BRICK 3" = 1'-0" 7		
	HM HEADER @ HORIZONTAL METAL 3" = 1'-0" 18		HM HEADER @ VERTICAL METAL 3" = 1'-0" 14		HEADER @ STOREFRONT ENTRY 3" = 1'-0" 10		STUCCO WINDOW HEADER 3" = 1'-0" 6	KEYNOTES 2
	HM SILL @ HORIZONTAL METAL 3" = 1'-0" 17		HM SILL @ VERTICAL METAL 3" = 1'-0" 13		HM SILL 3" = 1'-0" 9		STUCCO WINDOW SILL 3" = 1'-0" 5	LEGEND 1

NOTES:
THE FOLLOWING INSULATION VALUES TO BE USED PER IBC TABLE C402.13

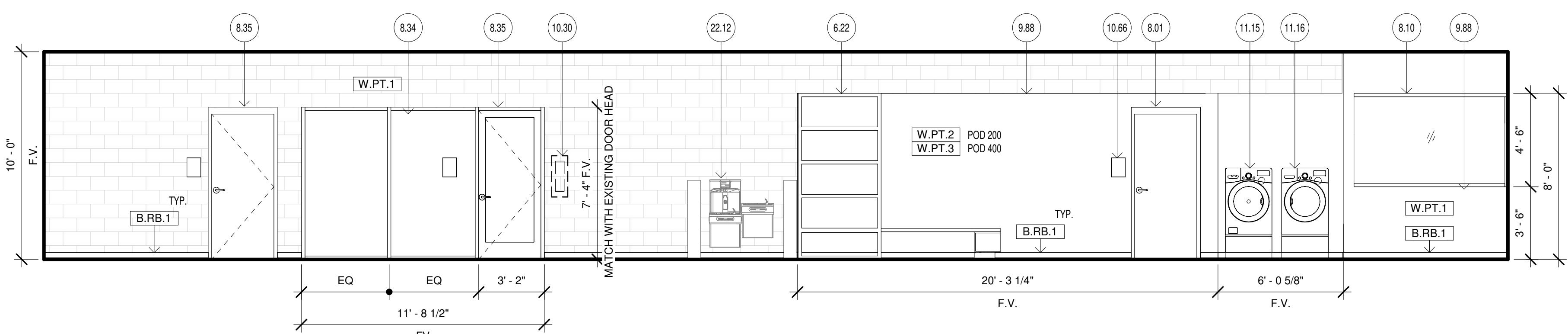
ROOFS:
ABOVE DECK: R-25i
METAL BUILDINGS: R-19 + R-11 LS

WALLS, ABOVE GRADE:
METAL BUILDING: R13 + R-6.5i
METAL FRAMED: R-13 + R-5i

EXTERIOR GLAZING &
DOOR DETAILS

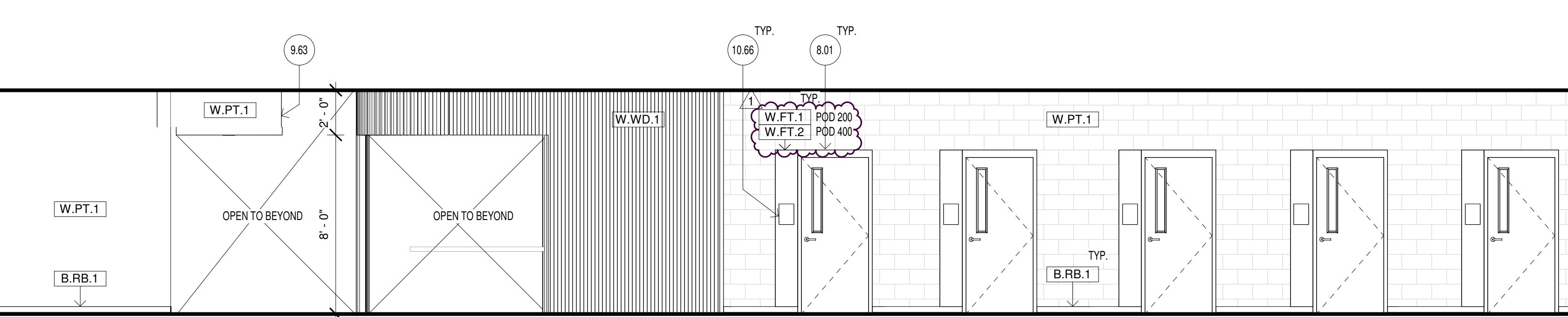
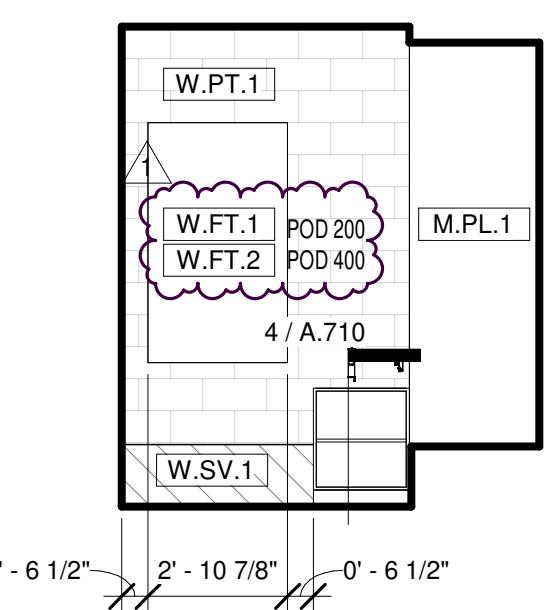
Scale: AS NOTED

A.611



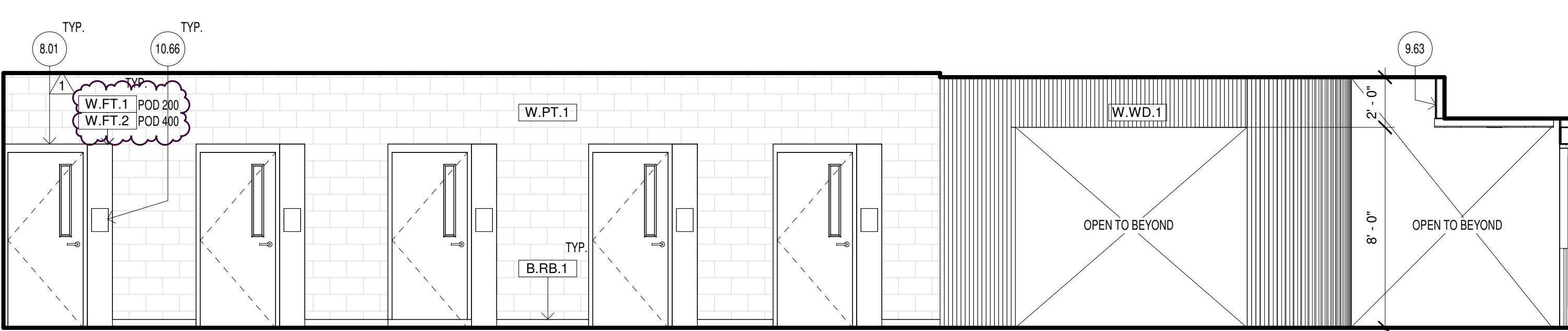
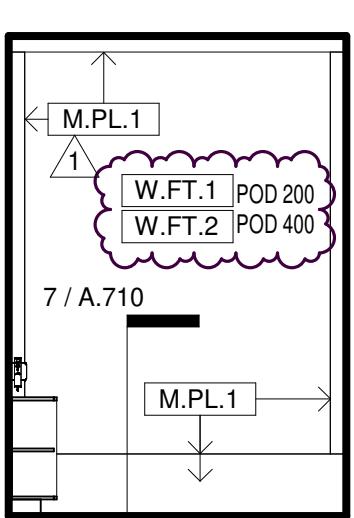
CORRIDOR 202 WEST

1/4" = 1'-0" 8



UNIT LEFT 1/4" = 1'-0" 19 CORRIDOR 202 EAST

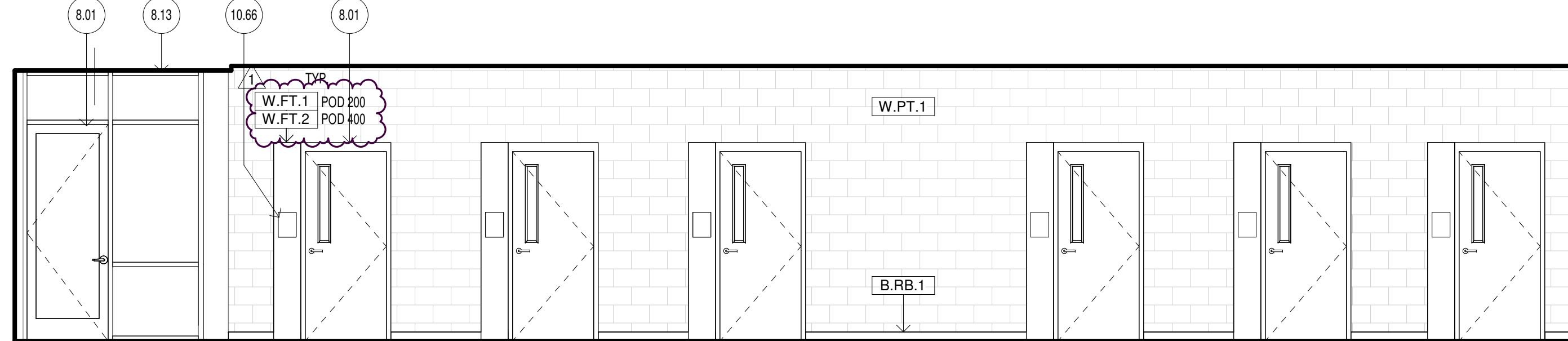
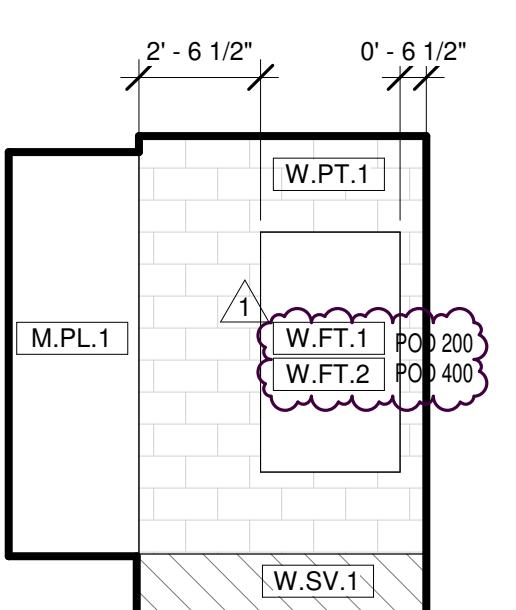
1/4" = 1'-0" 7



UNIT BACK 1/4" = 1'-0" 18 CORRIDOR 201 WEST

1/4" = 1'-0" 6 KEYNOTES

2



UNIT RIGHT

1/4" = 1'-0" 17 CORRIDOR 201 EAST

1/4" = 1'-0" 5 LEGEND

1

FILE:
DRAWN BY:
CHECKED BY:
ISSUE:
05/20/2024 SCHEMATIC DESIGN
06/14/2024 DESIGN DEVELOPMENT
08/23/2024 90% CONSTRUCTION DOCUMENTS
09/23/2024 100% CONSTRUCTION DOCUMENTS
1 11/01/2024 ADDENDUM # 01

INTERIOR ELEVATIONS

Scale: AS NOTED

A.701



6.22 Millwork; re: Millwork details
6.23 Base cabinets; re: Millwork details
8.01 Scheduled door; re: Door schedule
8.10 Scheduled window; re: Window schedule
8.13 Scheduled glazing system; re: Window schedule
8.34 Existing window
8.35 Existing door
9.63 Gypsum board lumen
10.01 Toilet partition(s); re: Accessory schedule
10.66 Room signage; re: Sprague schedule and Door schedule
11.07 Refrigerator - Owner Provided Contractor Installed
11.23 Wall-mounted flat panel television
22.00 Two-compartment sink; re: Plumbing
25.10 Scheduled light fixture; re: Electrical

Ownership of Instruments of Service:
Other documents and instruments prepared by BRAVE
ARCHITECTURE are instruments of service for the property
owner. BRAVE / ARCHITECTURE shall retain all common law, statutory and other reserved rights, including
the copyright thereof.

SEAL:



10/30/2024

FILE:
DRAWN BY:
CHECKED BY:
EH
ND
ISSUE:
05/02/2024 SCHEMATIC DESIGN
06/14/2024 DESIGN DEVELOPMENT
08/23/2024 90% CONSTRUCTION DOCUMENTS
09/23/2024 100% CONSTRUCTION DOCUMENTS
1 11/01/2024 ADDENDUM # 01

INTERIOR ELEVATIONS

Scale: AS NOTED

A.702





DOOR NO.	ROOM NAME	DOORS				FRAME				DETAIL				GLASS	HARDWARE	REMARKS
		W	H	T	TYPE	MATL.	FN	TYPE	MATL.	FN	H	J	S			
X100	DAY ROOM	3'-0"	8'-0"	0'-13/4"	D	HM	2	HM	10A.611	11A.611	6A.820	GL.4	2.0	CARD READER, KNOX BOX		
X101	DOOR	3'-0"	7'-0"	0'-13/4"	B	HM	1	HM	10A.611	11A.611	6A.820	GL.4	4.0	CARD READER		
X102	CORRIDOR	3'-0"	7'-0"	0'-13/4"	B	HM	1	HM	10A.611	11A.611	6A.820	GL.4	3.0	CARD READER		
X200	DAY ROOM	3'-0"	8'-0"	0'-13/4"	D	HM	2	HM	10A.611	11A.611	6A.820	GL.4	2.0	CARD READER, KNOX BOX		
X201	CORRIDOR	3'-0"	7'-0"	0'-13/4"	B	HM	1	HM	10A.611	11A.611	6A.820	GL.4	4.0	CARD READER		
X202	CORRIDOR	3'-0"	7'-0"	0'-13/4"	B	HM	1	HM	10A.611	11A.611	6A.820	GL.4	3.0	CARD READER, KNOX BOX		
X300	DAY ROOM	3'-0"	8'-0"	0'-13/4"	D	HM	2	HM	10A.611	11A.611	6A.820	GL.4	2.0	CARD READER, KNOX BOX		
X400	DAY ROOM	3'-0"	8'-0"	0'-13/4"	B	HM	1	HM	10A.611	11A.611	6A.820	GL.4	4.0	CARD READER		
X401	CORRIDOR	3'-0"	7'-0"	0'-13/4"	B	HM	1	HM	10A.611	11A.611	6A.820	GL.4	4.0	CARD READER		
X402	CORRIDOR	3'-0"	7'-0"	0'-13/4"	B	HM	1	HM	10A.611	11A.611	6A.820	GL.4	4.0	CARD READER		
X6001	1	4'-0"	8'-0"	0'-23/4"	R									-	-	-
X6002	2	4'-0"	8'-0"	0'-23/4"	R									-	-	-
X6003	MECHANICAL	5'-0"	7'-0"	0'-13/4"	E	HM	3	HM	12A.611	16A.611	6A.820	-	-	1.0	DOUBLE DOORS, CARD READER	
X6137	MECHANICAL	3'-0"	7'-0"	0'-13/4"	E	HM	3	HM	12A.611	16A.611	6A.820	-	-	1.0	DOUBLE DOORS, CARD READER	

EXTERIOR DOORS NOTE:
AT ALL EXTERIOR DOORS INSTALL A DOOR TOP WEATHER STRIP (Drip Cap) ATTACHED TO HEAD OF DOOR FRAME EQUAL TO PEMCO 346D LENGTH EQUAL TO WIDTH OF DOOR FRAME.

DOOR NO.	ROOM NAME	DOORS				FRAME				DETAIL				GLAZING	HARDWARE	SIGNAGE	REMARKS
		W	H	T	TYPE	MATL.	FN	TYPE	MATL.	FN	H	J	S				
203	ROOM	3'-0"	7'-0"	0'-13/4"	B	WD	1	HM	5A.821	7A.821	GL.2	9.0	S2	KEYED DOORS			
204	ROOM	3'-0"	7'-0"	0'-13/4"	B	WD	1	HM	5A.821	7A.821	GL.2	9.0	S2	KEYED DOORS			
205	ROOM	3'-0"	7'-0"	0'-13/4"	B	WD	1	HM	5A.821	7A.821	GL.2	9.0	S2	KEYED DOORS			
206	ROOM	3'-0"	7'-0"	0'-13/4"	B	WD	1	HM	5A.821	7A.821	GL.2	9.0	S2	KEYED DOORS			
207	ROOM	3'-0"	7'-0"	0'-13/4"	B	WD	1	HM	5A.821	7A.821	GL.2	9.0	S2	KEYED DOORS			
208	ROOM	3'-0"	7'-0"	0'-13/4"	B	WD	1	HM	5A.821	7A.821	GL.2	9.0	S2	KEYED DOORS			
209	ROOM	3'-0"	7'-0"	0'-13/4"	B	WD	1	HM	5A.821	7A.821	GL.2	9.0	S2	KEYED DOORS			
210	ROOM	3'-0"	7'-0"	0'-13/4"	B	WD	1	HM	5A.821	7A.821	GL.2	9.0	S2	KEYED DOORS			
211	ROOM	3'-0"	7'-0"	0'-13/4"	B	WD	1	HM	5A.821	7A.821	GL.2	9.0	S2	KEYED DOORS			
212	ROOM	3'-0"	7'-0"	0'-13/4"	B	WD	1	HM	5A.821	7A.821	GL.2	9.0	S2	KEYED DOORS			
213	ROOM	3'-0"	7'-0"	0'-13/4"	B	WD	1	HM	5A.821	7A.821	GL.2	9.0	S2	KEYED DOORS			
214	ROOM	3'-0"	7'-0"	0'-13/4"	B	WD	1	HM	5A.821	7A.821	GL.2	9.0	S2	KEYED DOORS			
215	ADA ROOM	3'-0"	7'-0"	0'-13/4"	B	WD	1	HM	5A.821	7A.821	GL.2	9.0	S2	KEYED DOORS			
217	ROOM	3'-0"	7'-0"	0'-13/4"	B	WD	1	HM	5A.821	7A.821	GL.2	9.0	S2	KEYED DOORS			
218	ROOM	3'-0"	7'-0"	0'-13/4"	B	WD	1	HM	5A.821	7A.821	GL.2	9.0	S2	KEYED DOORS			
219	ROOM	3'-0"	7'-0"	0'-13/4"	B	WD	1	HM	5A.821	7A.821	GL.2	9.0	S2	KEYED DOORS			
403	ROOM	3'-0"	7'-0"	0'-13/4"	B	WD	1	HM	5A.821	7A.821	GL.2	9.0	S2	KEYED DOORS			
404	ROOM	3'-0"	7'-0"	0'-13/4"	B	WD	1	HM	5A.821	7A.821	GL.2	9.0	S2	KEYED DOORS			
405	ROOM	3'-0"	7'-0"	0'-13/4"	B	WD	1	HM	5A.821	7A.821	GL.2	9.0	S2	KEYED DOORS			
406	ROOM	3'-0"	7'-0"	0'-13/4"	B	WD	1	HM	5A.821	7A.821	GL.2	9.0	S2	KEYED DOORS			
407	ROOM	3'-0"	7'-0"	0'-13/4"	B	WD	1	HM	5A.821	7A.821	GL.2	9.0	S2	KEYED DOORS			
408	ROOM	3'-0"	7'-0"	0'-13/4"	B	WD	1	HM	5A.821	7A.821	GL.2	9.0	S2	KEYED DOORS			
409	ROOM	3'-0"	7'-0"	0'-13/4"	B	WD	1	HM	5A.821	7A.821	GL.2	9.0	S2	KEYED DOORS			
410	ROOM	3'-0"	7'-0"	0'-13/4"	B	WD	1	HM	5A.821	7A.821	GL.2	9.0	S2	KEYED DOORS			
411	ROOM	3'-0"	7'-0"	0'-13/4"	B	WD	1	HM	5A.821	7A.821	GL.2	9.0	S2	KEYED DOORS			
412	ROOM	3'-0"	7'-0"	0'-13/4"	B	WD	1	HM	5A.821	7A.821	GL.2	9.0	S2	KEYED DOORS			
413	ROOM	3'-0"	7'-0"	0'-13/4"	B	WD	1	HM	5A.821	7A.821	GL.2	9.0	S2	KEYED DOORS			
414	ROOM	3'-0"	7'-0"														



H.M. WINDOW JAMB @ CORNER 3" = 1'-0" 16 EXTERIOR WINDOW TYPES 12 INTERIOR STOREFRONT ELEVATIONS 4

H.M. WINDOW JAMB 3" = 1'-0" 19 WINDOW JAMB -CMU 3" = 1'-0" 15 GLAZING & WINDOW SCHEDULES 3

H.M. WINDOW HEADER 3" = 1'-0" 18 WINDOW HEAD - 8" CMU 3" = 1'-0" 14

H.M. WINDOW SILL 3" = 1'-0" 17 WINDOW SILL - 8" CMU 3" = 1'-0" 13

EXTERIOR WINDOW SCHEDULE

TYPE	WIDTH	HEIGHT	SILL HEIGHT	HEAD HEIGHT	GLAZING TYPE	COMMENTS
A	1'-10"	2'-8 3/8"	4'-0"	6'-8 3/8"	GL4	ALUMINUM FIXED WINDOWS. LOCATION AND SIZE TO ALIGN WITH EXTERIOR METAL PANEL
B	4'-0"	7'-2"	2'-10"	10'-0"	GL4	MECHANICAL LOUVERS, REPLACE EXISTING
W	4'-0"	6'-0"	-	-	-	-

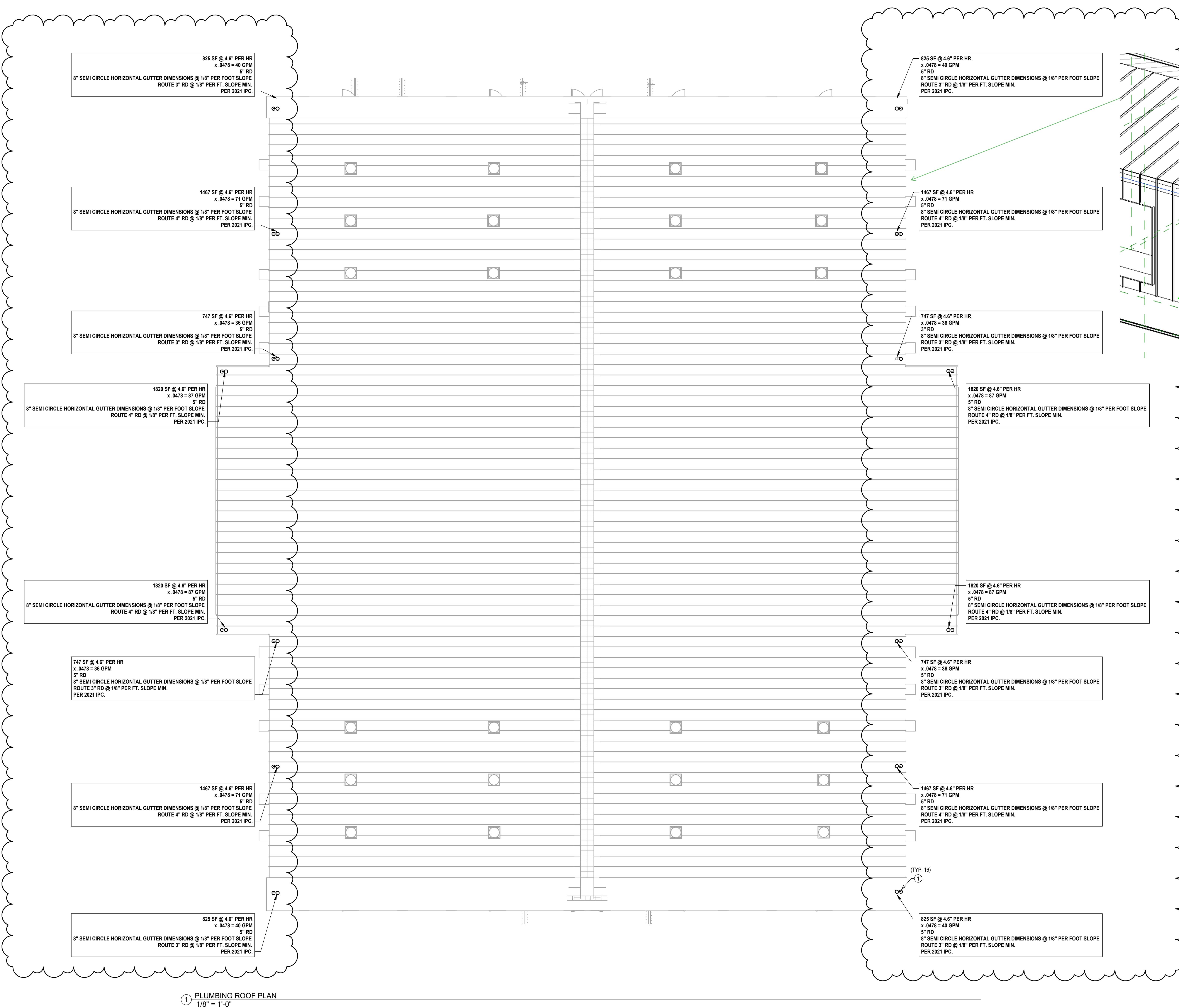
EXTERIOR & INTERIOR GLAZING TYPE SCHEDULE

MARK	THICKNESS	TYPE	SHGC	SHADING COEFF.	U-FACTOR	NOTES
GL1	1"	TEMPERED GLASS - INSULATED LOW EMISSION BLUE-TINT GLASS	24	28	29	PRO STARPHIRE, 1" DOUBLE INSULATED GLAZING SYSTEM (1/4" LOW-E TINTED TEMPERED GLASS, 1/2" AIRSPACE, 1/4" CLEAR TEMPERED GLASS), COLOR TO BE SELECTED BY ARCHITECT.
GL2	1"	CLEAR TEMPERED	-	-	-	INTERIOR GLAZING TYPE
GL3	1"	FROSTED GLASS	-	-	-	INTERIOR GLAZING FOR PRIVACY
GL4	9/16"	LAMINATED TEMPERED GLASS - INSULATED LOW EMISSION GLASS	-	-	-	REFLECTIVE GLASS LITES, LARGE MISSLE IMPACT RESISTANCE

NOTES:

- 8" thick running bond CMU, re: Finish schedule
- Fill jamb cells of CMU with masonry grout & provide reinforcing: re: Structural
- Galvanized masonry anchors
- Horizontal masonry reinforcement as specified
- CMU Unit: re: Structural
- 8/10: Scheduled window, re: Window schedule
- 8/11: Scheduled window frame, re: Window Schedule
- 8/12: Scheduled glazing system, re: Window schedule
- 8/13: Saddle
- 8/29: Double studs at jamb conditions, typical
- 9/10: 5/8" gypsum board
- 9/90: Caulk both sides
- 9/91: Paint applied stops
- 9/92: Boxed metal stud

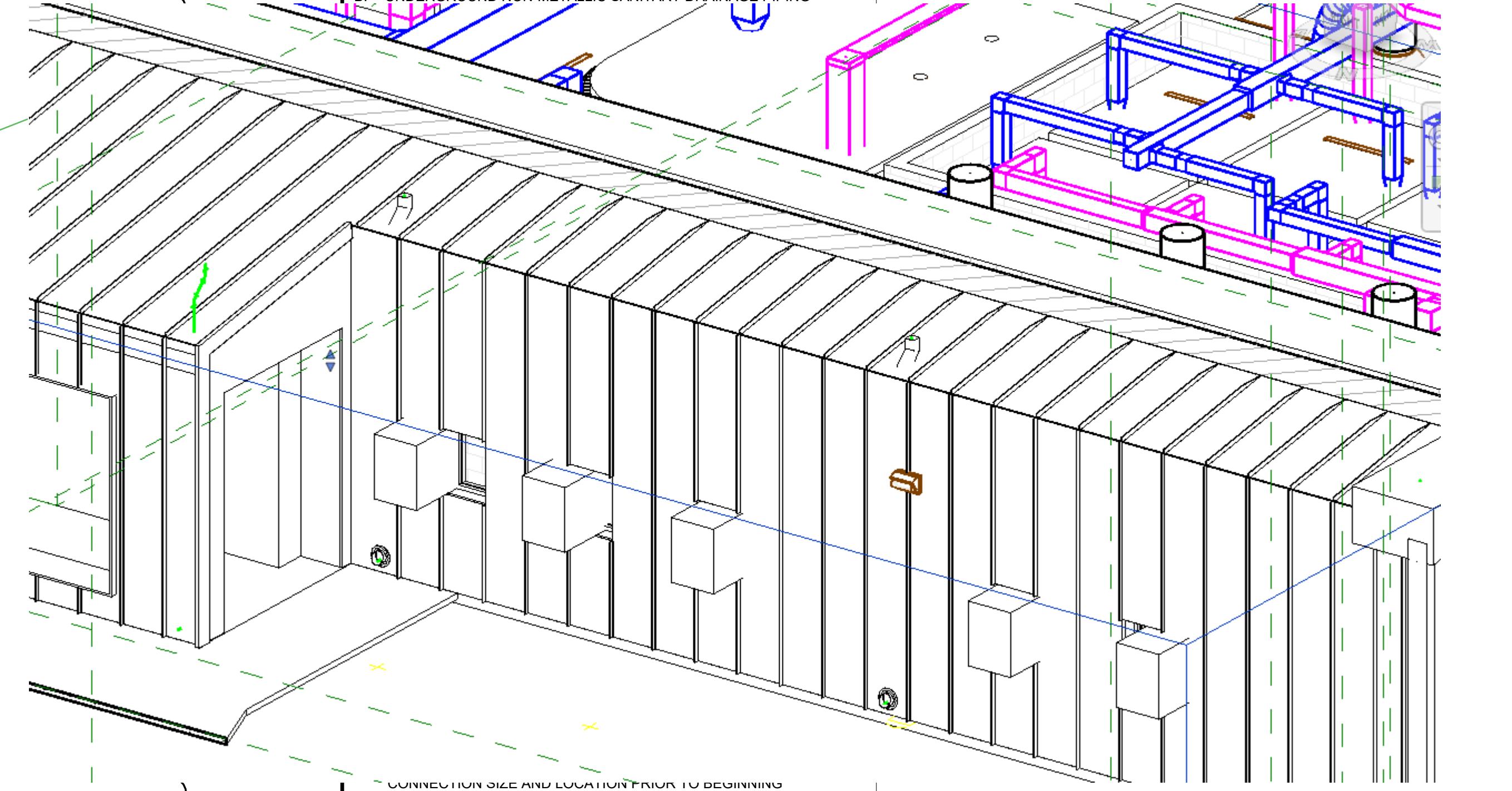
3890 FM3514, BEAUMONT, TX 77705



GENERAL NOTES (WASTE)

A. CONTRACTOR SHALL FILE VERIFICATION CONNECTION SIZE LOCATION, DIRECTION OF FLOW AND DRAINS PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL FIELD CONDITIONS.

B. UNDERGROUND NON-METALLIC SANITARY DRAINAGE PIPING



C. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS.

D. PLUMBING CONTRACTOR SHALL COORDINATE EXACT STREET WATER PRESSURE WITH ENGINEER OF ANY DISCREPANCIES.

E. CONTRACTOR SHALL PROVIDE A PRESSURE REDUCING VALVE (PRV) IF STREET WATER PRESSURE EXCEEDS 80 PSI. PRV SHALL BE INSTALLED ON BUILDING SIDE OF WATER METER AND SET TO 80 PSI.

F. CONTRACTOR SHALL PROVIDE A REVERSE DIRECTION WATER SYSTEM IS PROVIDED WITH A REVERSE DIRECTION WATER PREVENTER (RPB), IF NOT EXISTING, PROVIDE AN APPROVED RPB ASSEMBLY SIZED TO MATCH BUILDING WATER METER.

G. CONTRACTOR SHALL PROVIDE A REVERSE DIRECTION WATER SYSTEM IS PROVIDED WITH A REVERSE DIRECTION WATER PREVENTER (RPB), IF NOT EXISTING, PROVIDE AN APPROVED RPB ASSEMBLY SIZED TO MATCH BUILDING WATER METER.

H. CONTRACTOR SHALL PROVIDE A REVERSE DIRECTION WATER SYSTEM IS PROVIDED WITH A REVERSE DIRECTION WATER PREVENTER (RPB), IF NOT EXISTING, PROVIDE AN APPROVED RPB ASSEMBLY SIZED TO MATCH BUILDING WATER METER.

I. CONTRACTOR SHALL PROVIDE A REVERSE DIRECTION WATER SYSTEM IS PROVIDED WITH A REVERSE DIRECTION WATER PREVENTER (RPB), IF NOT EXISTING, PROVIDE AN APPROVED RPB ASSEMBLY SIZED TO MATCH BUILDING WATER METER.

J. CONTRACTOR SHALL PROVIDE A REVERSE DIRECTION WATER SYSTEM IS PROVIDED WITH A REVERSE DIRECTION WATER PREVENTER (RPB), IF NOT EXISTING, PROVIDE AN APPROVED RPB ASSEMBLY SIZED TO MATCH BUILDING WATER METER.

K. CONTRACTOR SHALL PROVIDE A REVERSE DIRECTION WATER SYSTEM IS PROVIDED WITH A REVERSE DIRECTION WATER PREVENTER (RPB), IF NOT EXISTING, PROVIDE AN APPROVED RPB ASSEMBLY SIZED TO MATCH BUILDING WATER METER.

L. CONTRACTOR SHALL PROVIDE A REVERSE DIRECTION WATER SYSTEM IS PROVIDED WITH A REVERSE DIRECTION WATER PREVENTER (RPB), IF NOT EXISTING, PROVIDE AN APPROVED RPB ASSEMBLY SIZED TO MATCH BUILDING WATER METER.

M. CONTRACTOR SHALL PROVIDE A REVERSE DIRECTION WATER SYSTEM IS PROVIDED WITH A REVERSE DIRECTION WATER PREVENTER (RPB), IF NOT EXISTING, PROVIDE AN APPROVED RPB ASSEMBLY SIZED TO MATCH BUILDING WATER METER.

N. CONTRACTOR SHALL PROVIDE A REVERSE DIRECTION WATER SYSTEM IS PROVIDED WITH A REVERSE DIRECTION WATER PREVENTER (RPB), IF NOT EXISTING, PROVIDE AN APPROVED RPB ASSEMBLY SIZED TO MATCH BUILDING WATER METER.

O. CONTRACTOR SHALL PROVIDE A REVERSE DIRECTION WATER SYSTEM IS PROVIDED WITH A REVERSE DIRECTION WATER PREVENTER (RPB), IF NOT EXISTING, PROVIDE AN APPROVED RPB ASSEMBLY SIZED TO MATCH BUILDING WATER METER.

P. CONTRACTOR SHALL PROVIDE A REVERSE DIRECTION WATER SYSTEM IS PROVIDED WITH A REVERSE DIRECTION WATER PREVENTER (RPB), IF NOT EXISTING, PROVIDE AN APPROVED RPB ASSEMBLY SIZED TO MATCH BUILDING WATER METER.

Q. CONTRACTOR SHALL PROVIDE A REVERSE DIRECTION WATER SYSTEM IS PROVIDED WITH A REVERSE DIRECTION WATER PREVENTER (RPB), IF NOT EXISTING, PROVIDE AN APPROVED RPB ASSEMBLY SIZED TO MATCH BUILDING WATER METER.

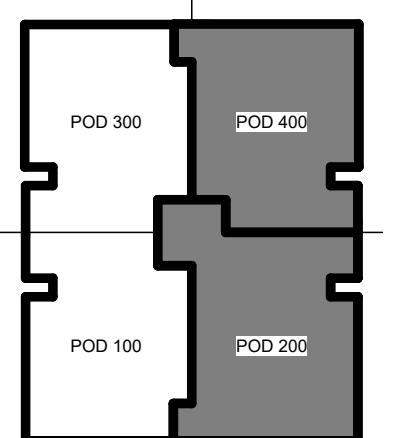
R. CONTRACTOR SHALL PROVIDE A REVERSE DIRECTION WATER SYSTEM IS PROVIDED WITH A REVERSE DIRECTION WATER PREVENTER (RPB), IF NOT EXISTING, PROVIDE AN APPROVED RPB ASSEMBLY SIZED TO MATCH BUILDING WATER METER.

S. CONTRACTOR SHALL PROVIDE A REVERSE DIRECTION WATER SYSTEM IS PROVIDED WITH A REVERSE DIRECTION WATER PREVENTER (RPB), IF NOT EXISTING, PROVIDE AN APPROVED RPB ASSEMBLY SIZED TO MATCH BUILDING WATER METER.

STRUCTURAL
DALLY + ASSOCIATES
9800 RICHMOND AVE, SUITE 460
HOUSTON, TEXAS 77042
Structural Contact

MEP
ASEI ENGINEERING
350 GLENBOROUGH DR, SUITE 270
HOUSTON, TX 77067
MEP Contact

KEYPLAN:



Ownership of Instruments of Service:
All drawings, plans, specifications, computer files, field data, notes & other documents and instruments prepared by BRAVE / ARCHITECTURE, BRAVE / ARCHITECTURE, BRAVE / ARCHITECTURE shall retain all common law, statutory and other reserved rights, including the copyright thereof.

SEAL:

FILE:
DRAWN BY:
CHECKED BY:
ISSUE:

1 Date 1 Revision 1

PLUMBING ROOF PLAN

Scale: AS NOTED