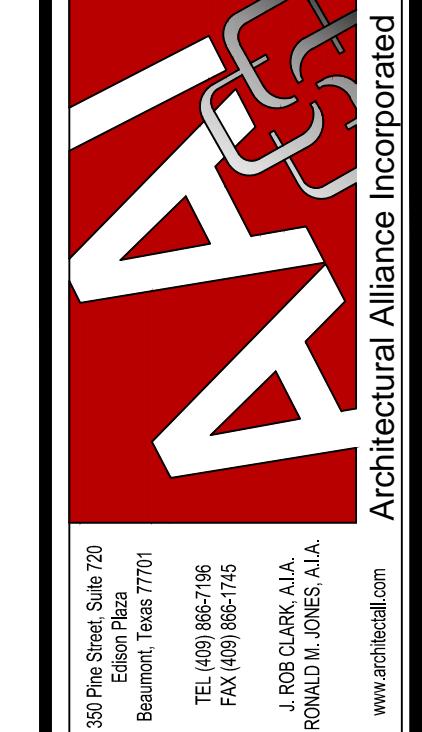


SUB COURTHOUSE REPAIRS AND RENOVATION

525 LAKESHORE DRIVE

PORT ARTHUR, TX 77640



OWNER

Jefferson County
525 Lakeshore Drive
Port Arthur, TX 77640

ARCHITECT

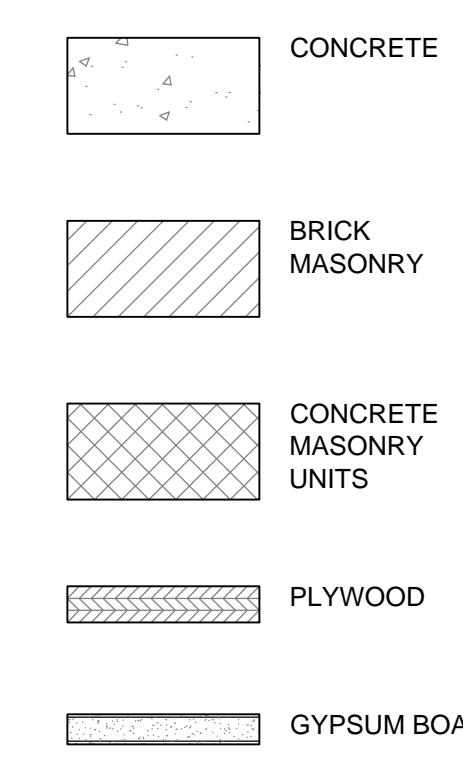
ARCHITECTURAL ALLIANCE, INCORPORATED
350 Pine Street Suite 720
Beaumont, Texas 77701

Contact: Rob Clark
Phone: (409) 866-7196
Email: rclark@architect-aia.com

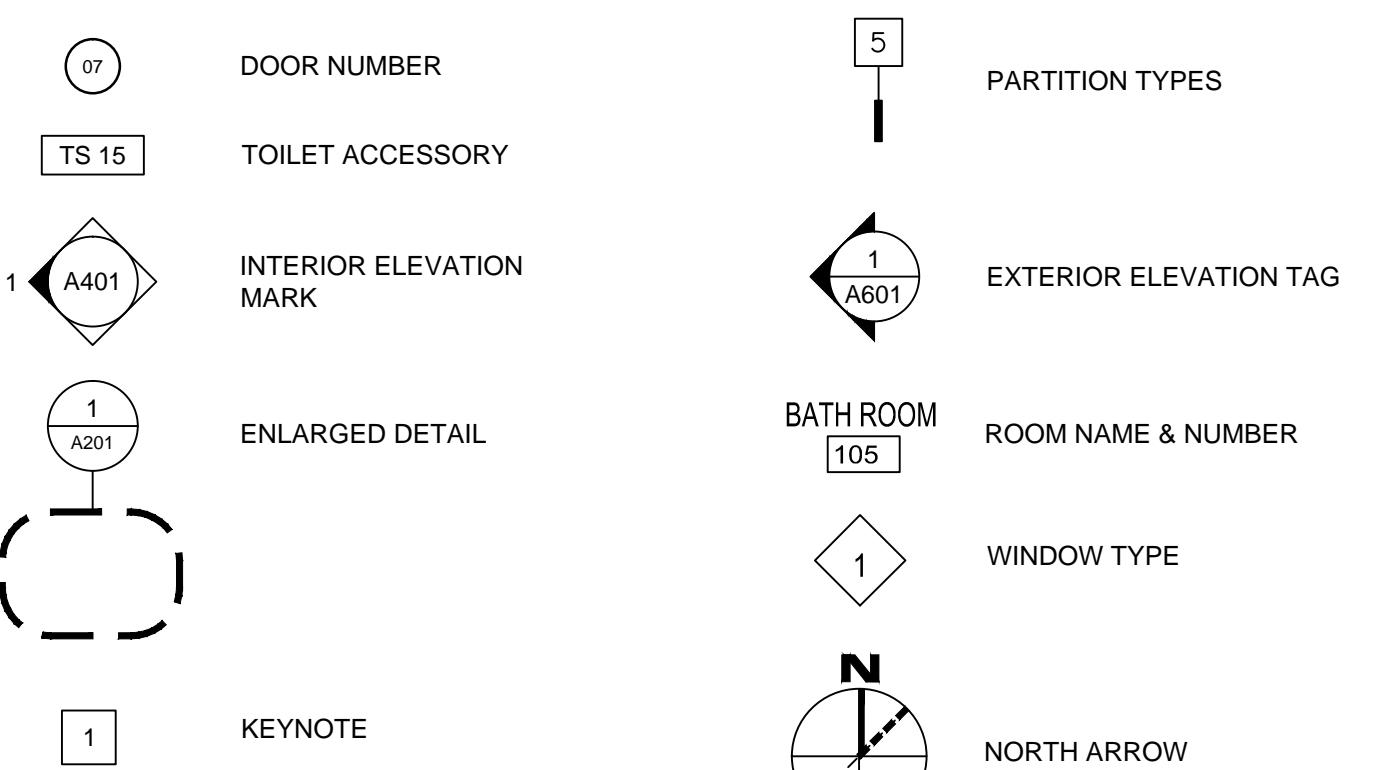
ABBREVIATIONS

| | | | | | | | | | |
|--------|---------------------------------|---------|--|---------|--|--------|-------------------------------|------|-------------------------|
| A.B. | ANCHOR BOLT | DR | DOOR | HW | HOT WATER | OPNG | OPENING | THK | THICKNESS |
| A/C | AIR CONDITIONING | DS | DOWNSPOUT | | | OPP | OPPOSITE | TI | TENANT IMPROVEMENT |
| ACT | ACOUSTICAL CEILING TILE | DWR | DRAWER | ID | INSIDE DIAMETER | | | TO | TOP OF (SPECIFY ITEM) |
| A.D. | AREA DRAIN | | | IN | INCH | | | TOC | TOP OF CURB/ CONCRETE |
| ADA | AMERICANS WITH DISABILITIES ACT | EA | EACH | INCL | INCLUDE(D) | PERP | PERPENDICULAR | TOP | TOP OF PARAPET |
| ADJ | ADJUSTABLE | EF | EACH FACE / EXHAUST FAN | INSUL | INSULATION | PL | PLATE (OR PROPERTY LINE) | TOS | TOP OF STEEL |
| AFF | ABOVE FINISH FLOOR | EIFS | EXTERIOR INSULATED | INT | INTERIOR | PLAS | PLASTER | TOW | TOP OF WALL |
| ALT | ALTERNATE | | FINISH SYSTEM | INV | INVERT | PLYWD | PLYWOOD | TPTN | TOILET PARTITION |
| ALUM | ALUMINUM | ELEC | ELECTRICAL | JAN | JANITOR | PNL | PANEL | TS | TUBULAR STEEL |
| ANOD | ANODIZED | ELEV | ELEVATION | JST | JOIST | PNT | PAINT | TV | TELEVISION |
| APPROX | APPROXIMATE | EMER | EMERGENCY | JT | JOINT | PR | PAINT | TYP | TYPICAL |
| ARCH | ARCHITECT(URAL) | ENCL | ENCLOSURE | | | PSF | POUNDS PER SQUARE FOOT | UC | UNDERCOUNTER |
| ASPH | ASPHALT | EQ | EQUAL | KD | KNOCK DOWN | PT | PRESSURE TREATED | UL | UNDERWRITERS LABORATORY |
| BD | BOARD | EQUIP | EQUIPMENT | KIT | KITCHEN | PTN | PARTITION | UNO | UNLESS NOTED OTHERWISE |
| BIT | BITUMINOUS | EW | EACH WAY | KO | KNOCK OUT | PVC | POLYVINYL CHLORIDE | VCT | VINYL COMPOSITION TILE |
| BLDG | BUILDING | EWC | ELECTRIC WATER COOLER | | | | | VENT | VENTILATION |
| BLKG | BLOCKING | EXH | EXHAUST | LAB | LABORATORY | RA | RETURN AIR | VERT | VERTICAL |
| BM | BEAM | EXIST | EXISTING | LAM | LAMINATE(D) | RAD | RADIUS | VEST | VESTIBULE |
| B.O. | BOTTOM OF | EXP | EXPANSION / EXPOSED | LAV | LAVATORY | RCR | REFLECTED CEILING PLAN | VIF | VERIFY IN FIELD |
| BOT | BOTTOM | EXT | EXTERIOR | LF | LINEAL FOOT | RD | ROOF DRAIN | VR | VAPOR RETARDER |
| BRG | BEARING | FD | FLOOR DRAIN | LHR | LEFT HAND REVERSE | REBAR | REINFORCING BAR | VTR | VENT THRU ROOF |
| BTWN | BETWEEN | FDN | FOUNDATION | LL | LIVE LOAD | REC | RECESSED | VWC | VINYL WALL COVERING |
| BUR | BUILT-UP ROOF | FE | FIRE EXTINGUISHER | LLH | LONG LEG HORIZONTAL | REF | REFERENCE | | |
| CAB | CABINET | FEC | FIRE EXTINGUISHER | LLV | LONG LEG VERTICAL | REFR | REFRIGERATOR | WC | WATER CLOSET |
| CBU | CEMENTITIOUS | CABINET | CABINET | LWC | LIGHT WEIGHT CONCRETE | REINF | REINFORCING / REINFORCED | WD | WOOD |
| C/C | BACKER UNIT | FF | FINISH FLOOR | MACH | MACHINE | RES | RESILIENT | WDW | WINDOW |
| CEM | CENTER-TO-CENTER | FFE | FINISH FLOOR ELEVATION | MAS | MASONRY | REV | REVISION | | |
| CER | CEMENT | FIN | FINISH | MATL | MATERIAL | RH | RIGHT HAND | W/ | WITH |
| C.G. | CERAMIC | FLR | FLOOR | MAX | MAXIMUM | RHR | RIGHT HAND REVERSE | W/IO | WITHOUT |
| C.I.P. | CORNER GUARD | FLUOR | FLUORESCENT | MDF | MEDIUM DENSITY FIBERBOARD | RM | ROOM | WP | WATERPROOF |
| C.J. | CAST-IN-PLACE | FM | FACTORY MUTUAL | MECH | MECHANICAL | RO | ROUGH OPENING | WR | WATER-RESISTANT |
| CL | CONTROL JOINT | FOB | FACE OF (SPECIFY ITEM) | MEMB | MEMBRANE | RWL | RAINWATER LEADER | WWF | WELDED WIRE FABRIC |
| CLG | CENTERLINE | FOC | FACE OF CONCRETE | MFR | MANUFACTURER | R&S | ROD AND SHELF | WWM | WELDED WIRE MESH |
| CLR | CEILING | FOS | FACE OF STUD | MEZZ | MEZZANINE | | | | |
| CLOS | CLEAR(ANCE) | FR | FIRE RESISTIVE | MH | MANHOLE | SC | SOLID CORE | YD | YARD |
| CMU | CLOSET | FT | FEET / FOOT | MIN | MINIMUM | SCHED | SCHEDULE | | |
| C.O. | CONCRETE | FTG | FOOTING | MIR | MIRROR | SF | SQUARE FEET | | |
| COL | COLUMN | FURR | FURRING / FURRED | MISC | MISCELLANEOUS | SHT | SHEET | | |
| CONC | CONCRETE | GA | GAUGE | MO | MASONRY OPENING | SIM | SIMILAR | | |
| CONSTR | CONSTRUCTION | GALV | GALVANIZED | MR | MOISTURE RESISTANT | SPEC | SPECIFICATION | | |
| CONT | CONTINUOUS | GB | GRAB BAR | MTL | METAL | SQ | SQUARE | | |
| COORD | COORDINATE | GC | GENERAL CONTRACTOR | MULLION | MULLION | SS | STAINLESS STEEL | | |
| CORR | CORRIDOR | GL | GLASS / GLAZING | N/A | NOT APPLICABLE | STC | SOUND TRANSMISSION CLASS | | |
| CTR | CENTER | GND | GROUND | NIC | NOT IN CONTRACT | STD | STANDARD | | |
| C.Y. | CUBIC YARD | GR | GRADE | NO. | NUMBER | STL | STEEL | | |
| DBL | DOUBLE | GWB | GYPSUM WALLBOARD | NOM | NOMINAL | STOR | STORAGE | | |
| DEMO | DEMOLITION | GYP | GYPSUM | NTS | NOT TO SCALE | STRUCT | STRUCTURAL | | |
| DEPT | DEPARTMENT | HB | HOSE BIB | OC | ON CENTER | SUSP | SUSPENDED | | |
| DET | DETAIL | HC | HOLLOW CORE | OD | OUTSIDE DIAMETER | SYM | SYMMETRICAL | | |
| DIA | DIAMETER | HDR | HEADER | | (OR OVERFLOW DRAIN) | TAS | TEXAS ACCESSIBILITY STANDARDS | | |
| DIAG | DIAGONAL | HDWR | HARDWARE | | | | STANDARDS | | |
| DIM | DIMENSION | HM | HOLLOW METAL | OFCI | OWNER FURNISHED / CONTRACTOR INSTALLED | T&B | TOP AND BOTTOM | | |
| DISP | DISPENSER | HORIZ | HORIZONTAL | OFOI | OWNER INSTALLED | T&G | TONGUE AND GROOVE | | |
| DL | DEAD LOAD | HT | HEIGHT | OH | OPPOSITE HAND (OR OVERHEAD) | TBD | TO BE DETERMINED | | |
| DN | DOWN | HVAC | HEATING, VENTILATION, AND AIR CONDITIONING | TEL | TELEPHONE | | | | |

MATERIAL LEGEND



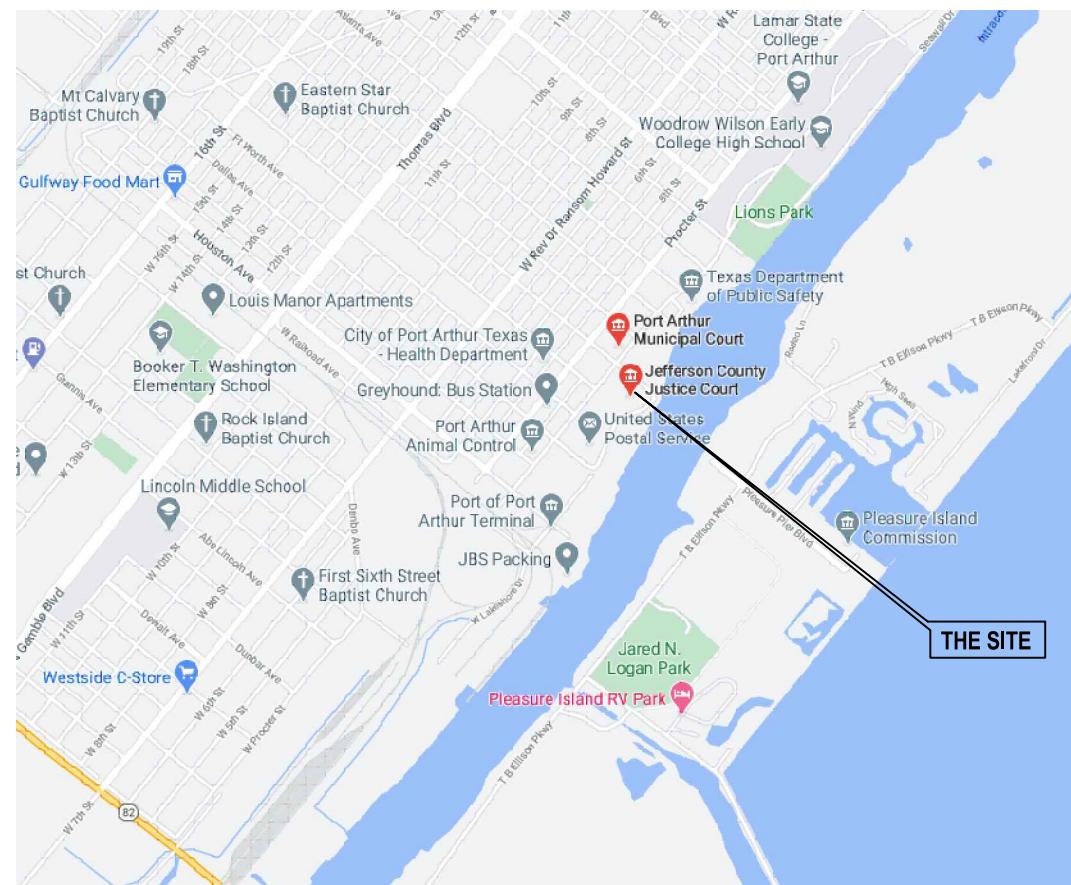
SYMBOL KEY



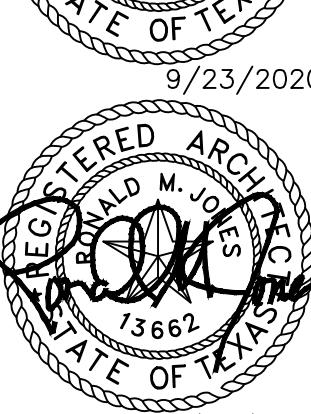
LOCATION MAP

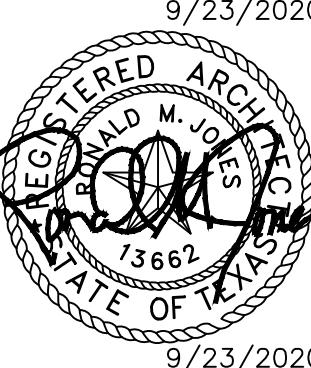


VICINITY MAP



| | |
|----------------------|--|
| DRAWINGS SHEET TITLE | |
| COVER SHEET | |
| SET NUMBER | |
| SHEET NUMBER | |
| G000 | |
| 20093 | |
| PROJECT NUMBER | |





CONSTRUCTION NOTES

16. UNDER ALTERNATE NO. 4 WHERE NOTED ON DRAWINGS: REMOVE AND REPLACE DAMAGED SUSPENDED CEILING GRID AND TILE (SALVAGING EXISTING LIGHT FIXTURES FOR RE-INSTALLATION) AND REPLACE WITH NEW SUSPENDED CEILING GRID SYSTEM AND NEW ACOUSTICAL TILE AS SPECIFIED. IN CERTAIN CASES, THE EXISTING GRID MAY BE SALVAGEABLE TO BE SANDED SMOOTH, PRIMED AND PAINTED WITH TWO COATS ENAMEL PAINT SUCH THAT NO DEFECTS CAN BE DETECTED. CONTRACTOR SHALL DETERMINE THESE CASES AND BE SOLELY RESPONSIBLE TO REPAIR CEILINGS TO THE SATISFACTION OF OWNER AND ARCHITECT PRIOR TO INSTALLATION OF NEW CEILING TILES. IF REPAIRS ARE NOT ACCEPTABLE, EXISTING GRID MUST BE REMOVED AND REPLACED WITH SPECIFIED PRODUCT. ALL NEW SUSPENDED ACOUSTICAL TILE CEILING MUST BE INSTALLED WITH LASER LEVELING DEVICE FOR UNIFORM ELEVATION ABOVE FLOOR. FURNISH AND INSTALL NEW 24 X 48 X .75 INCH ARMSTRONG ITEM NO. 1713 SCHOOL ZONE FINE FISSURED SQUARE LAY-IN CEILING PANELS. CONTRACTOR TO INCLUDE PROTECTION AND RE-INSTALLATION OF ALL EXISTING FIRE DETECTION, SIGNALING AND TECHNOLOGY DEVICES. REINSTALL EXISTING SALVAGED LIGHT FIXTURES. NOTE, FIXTURE MAY BE TIED-UP AGAINST CEILING TO REDUCE DAMAGE AND FACILITATE REINSTALLATION.

17. UNDER ALTERNATE NO. 5 WHERE NOTED ON DRAWINGS: REPLACE OR REPAIR BALANCE OF GYPSUM BOARD, WALLS REMOVING ANY EXISTING WALL COVERING, PATCH, FLOAT, TEXTURE WITH ORANGE PEEL FINISH, PRIME AND PAINT TWO COATS ENAMEL PAINT TO MATCH EXISTING THROUGHOUT BUILDING. WHERE ROOMS ARE SCHEDULED TO BE PAINTED ALL WALLS, REMOVE ANY EXISTING VINYL WALL COVERINGS BEFORE REPAIRING WALLS TO STANDARDS NOTED. WHERE WALLS ARE PAINTED, CONTRACTOR SHALL BE RESPONSIBLE TO PAINT EXISTING DOOR FRAMES WITH COLOR TO MATCH (WHERE PAINTED). WHERE EXISTING GYPSUM BOARD HAS BLOOMED DUE TO WATER INTRUSION, CUT-OUT FULL SECTION EDGE OF STUD TO EDGE OF STUD AND INSTALL NEW GYPSUM BOARD PRIOR TO STARTING TAPE AND FLOATING WORK. NOTE, IN ANY SCHEDULED ROOM, ALL EXISTING VINYL WALL COVERED OR PAINTED GYPSUM BOARD WALLS ARE COVERED BY THIS NOTE.

1. REMOVE AND REPLACE EXISTING 2'X4' FLORESCENT LIGHT FIXTURE WITH MATCHING LED UNIT.

2. REFINISH SMALL WATER STAINED AREAS OF TWO EXISTING WOOD BENCHES TO MATCH ADJACENT SURFACE BOTH COLOR AND FINISH AFTER PROVIDING A TEST AREA FOR APPROVAL BY OWNER AND ARCHITECT. REFERENCE PHOTOGRAPHS FOR GENERAL AREA OF REPAIRS.

3. REPAIR APPROXIMATE 6 SQUARE FEET OF WATER STAINED AND SOME VISIBLE DELAMINATING WOOD WALL VENEER BY RE-ADHERING WITH GLUE AND PRESSURE AND REFINISH AS NECESSARY TO MATCH EXISTING ADJACENT SURFACE BOTH COLOR AND FINISH AFTER PROVIDING A TEST AREA FOR APPROVAL BY OWNER AND ARCHITECT. REFERENCE PHOTOGRAPHS FOR GENERAL AREA OF REPAIRS.

4. REPAIR APPROXIMATE 96 SQUARE FEET OF WATER STAINED AND SOME VISIBLE DELAMINATING WOOD WALL VENEER BY RE-ADHERING WITH GLUE AND PRESSURE AND REFINISH AS NECESSARY TO MATCH EXISTING ADJACENT SURFACE BOTH COLOR AND FINISH AFTER PROVIDING A TEST AREA FOR APPROVAL BY OWNER AND ARCHITECT.

5. REPLACE OR REPAIR GYPSUM BOARD, WALLS DAMAGED BY WATER INTRUSION REMOVING ANY EXISTING WALL COVERING, PATCH, FLOAT, TEXTURE WITH ORANGE PEEL FINISH, PRIME AND PAINT TWO COATS ENAMEL PAINT TO MATCH EXISTING THROUGHOUT BUILDING. WHERE ROOMS ARE SCHEDULED TO BE PAINTED ALL WALLS, REMOVE ANY EXISTING VINYL WALL COVERINGS BEFORE REPAIRING WALLS TO STANDARDS NOTED. WHERE WALLS ARE PAINTED, CONTRACTOR SHALL BE RESPONSIBLE TO PAINT EXISTING DOOR FRAMES WITH COLOR TO MATCH (WHERE PAINTED). WHERE EXISTING GYPSUM BOARD HAS BLOOMED DUE TO WATER INTRUSION, CUT-OUT FULL SECTION EDGE OF STUD TO EDGE OF STUD AND INSTALL NEW GYPSUM BOARD PRIOR TO STARTING TAPE AND FLOATING WORK. NOTE, IN ANY SCHEDULED ROOM, ALL EXISTING VINYL WALL COVERED OR PAINTED GYPSUM BOARD WALLS ARE COVERED BY THIS NOTE.

6. REMOVE AND REPLACE DAMAGED SUSPENDED CEILING GRID AND TILE (SALVAGING EXISTING LIGHT FIXTURES FOR RE-INSTALLATION) AND REPLACE WITH NEW SUSPENDED CEILING GRID SYSTEM AND NEW ACOUSTICAL TILE AS SPECIFIED. IN CERTAIN CASES, THE EXISTING GRID MAY BE SALVAGEABLE TO BE SANDED SMOOTH, PRIMED AND PAINTED WITH TWO COATS ENAMEL PAINT SUCH THAT NO DEFECTS CAN BE DETECTED. CONTRACTOR SHALL DETERMINE THESE CASES AND BE SOLELY RESPONSIBLE TO REPAIR CEILINGS TO THE SATISFACTION OF OWNER AND ARCHITECT PRIOR TO INSTALLATION OF NEW CEILING TILES. IF REPAIRS ARE NOT ACCEPTABLE, EXISTING GRID MUST BE REMOVED AND REPLACED WITH SPECIFIED PRODUCT. ALL NEW SUSPENDED ACOUSTICAL TILE CEILING MUST BE INSTALLED WITH LASER LEVELING DEVICE FOR UNIFORM ELEVATION ABOVE FLOOR. FURNISH AND INSTALL NEW 24 X 48 X .75 INCH ARMSTRONG ITEM NO. 1713 SCHOOL ZONE FINE FISSURED SQUARE LAY-IN CEILING PANELS. CONTRACTOR TO INCLUDE PROTECTION AND RE-INSTALLATION OF ALL EXISTING FIRE DETECTION, SIGNALING AND TECHNOLOGY DEVICES. REINSTALL EXISTING SALVAGED LIGHT FIXTURES. NOTE, FIXTURE MAY BE TIED-UP AGAINST CEILING TO REDUCE DAMAGE AND FACILITATE REINSTALLATION.

7. REPAIR APPROXIMATE 4 SQUARE FEET OF WOOD WALL VENEER, WINDOW SILL AND WINDOW TRIM DELAMINATED OR STAINED BY RE-ADHERING WITH GLUE AND PRESSURE AND REFINISH AS NECESSARY TO MATCH EXISTING ADJACENT SURFACE BOTH COLOR AND FINISH.

8. REPAIR APPROXIMATE 15 LINEAL FEET OF WOODEN WINDOW TRIM WHERE STAINED OR BUCKLED BY RE-ATTACHING AS NECESSARY AND REFINISH AS NECESSARY TO MATCH EXISTING ADJACENT SURFACE BOTH COLOR AND FINISH.

9. REMOVE EXISTING FLOORING AND RUBBER BASE AND INSTALL NEW PATCRAFT SHAW CONTACT INTENTION MODULAR 18 X 36 CARPET TILES (FINAL COLOR TO BE SELECTED BY OWNER AND ARCHITECT FROM MANUFACTURER'S STANDARD LINE). INSTALL NEW 4" RUBBER COVED BASE (VINYL NOT ACCEPTED) INCLUDING USE OF MANUFACTURER'S INSIDE AND OUTSIDE CORNER COMPONENTS IN ALL INSTALLATION LOCATIONS WITH ALL WORK INSTALLED IN COMPLIANCE WITH MANUFACTURER'S STANDARD INCLUDING CLEANING/PREPAREDNESS OF FLOOR, ADHESIVE AND FLOORING INSTALLATION. PROVIDE THE OWNER WITH 5% ATTIC STOCK MATERIALS FOR EACH COLOR UTILIZED ON THE PROJECT IN NON-OPENED BOXES. PROVIDE 5% LINEAR FEET ATTIC STOCK MATERIALS FOR 4" COVED RUBBER BASE.

10. REMOVE EXISTING FLOORING AND RUBBER BASE AND INSTALL MOHAWK GROUP MATUTO PLUS STONE LUXURY VINYL TILES IN MANUFACTURER'S DECO PATTERN SELECTED BY OWNER AND ARCHITECT FROM MANUFACTURER'S STANDARD LINE. INSTALL NEW 4" RUBBER COVED BASE (VINYL NOT ACCEPTED) INCLUDING USE OF MANUFACTURER'S INSIDE AND OUTSIDE CORNER COMPONENTS IN ALL INSTALLATION LOCATIONS IN ALL INSTALLATION LOCATIONS INSTALLED IN COMPLIANCE WITH MANUFACTURER'S STANDARD INCLUDING CLEANING/PREPAREDNESS OF FLOOR, ADHESIVE AND FLOORING INSTALLATION. PROVIDE THE OWNER WITH 5% ATTIC STOCK MATERIALS FOR EACH COLOR UTILIZED ON THE PROJECT IN NON-OPENED BOXES. PROVIDE 15% LINEAR FEET ATTIC STOCK MATERIALS COVED RUBBER BASE.

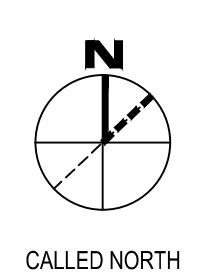
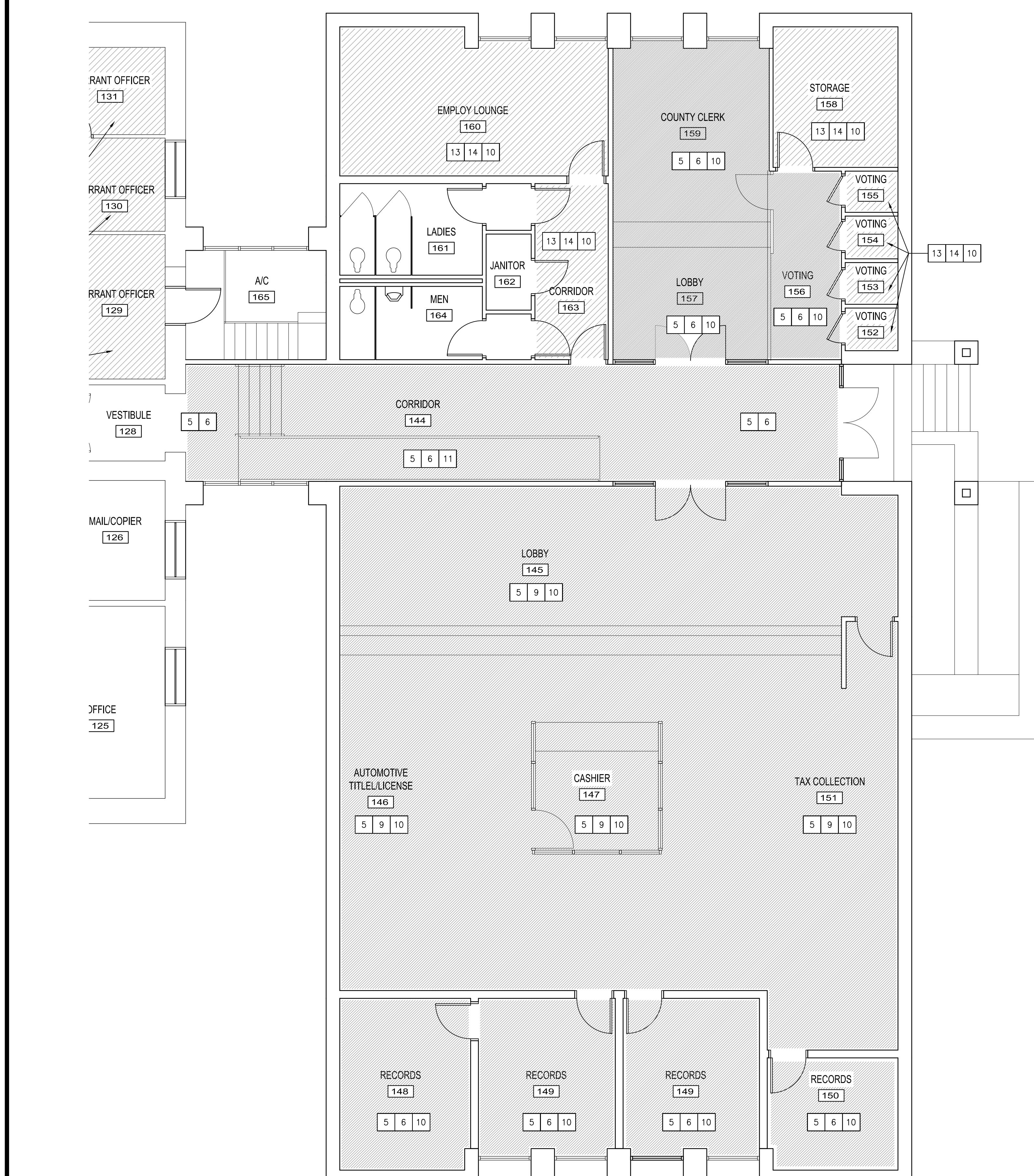
11. AT EXISTING ACCESSIBLE RAMP, REMOVE EXISTING CARPET AND BASE MATERIALS, CLEAN AND INSTALL NEW MOHAWK TUFF STUFF II MODULAR TILE DIRECT GLUE DOWN CARPET ON RAMP WITH COMPLIANT ADHESIVE LAID FLOORING RUNNING 90 DEGREES TO THE SLOPE OF THE STAIR ALONG WITH NEW 4" COVED RUBBER BASE ON OUTSIDE WALL LINE WHERE APPLICABLE.

12. REMOVE ANY EXISTING RUBBER/VINYL BASE AND INSTALL NEW 4" COVED RUBBER BASE WITH MANUFACTURER'S INSIDE/OUTSIDE CORNER. NOTE, VINYL BASE WILL NOT BE ACCEPTED.

13. **UNDER ALTERNATE NO. 1 WHERE NOTED ON DRAWINGS ON FIRST FLOOR:** REMOVE AND REPLACE DAMAGED SUSPENDED CEILING GRID AND TILE (SALVAGING EXISTING LIGHT FIXTURES FOR RE-INSTALLATION) AND REPLACE WITH NEW SUSPENDED CEILING GRID SYSTEM AND NEW ACOUSTICAL TILE AS SPECIFIED. IN CERTAIN CASES, THE EXISTING GRID MAY BE SALVAGEABLE TO BE SANDED SMOOTH, PRIMED AND PAINTED WITH TWO COATS ENAMEL PAINT SUCH THAT NO DEFECTS CAN BE DETECTED. CONTRACTOR SHALL DETERMINE THESE CASES AND BE SOLELY RESPONSIBLE TO REPAIR CEILINGS TO THE SATISFACTION OF OWNER AND ARCHITECT PRIOR TO INSTALLATION OF NEW CEILING TILES. IF REPAIRS ARE NOT ACCEPTABLE, EXISTING GRID MUST BE REMOVED AND REPLACED WITH SPECIFIED PRODUCT. ALL NEW SUSPENDED ACOUSTICAL TILE CEILING MUST BE INSTALLED WITH LASER LEVELING DEVICE FOR UNIFORM ELEVATION ABOVE FLOOR. FURNISH AND INSTALL NEW 24 X 48 X .75 INCH ARMSTRONG ITEM NO. 1713 SCHOOL ZONE FINE FISSURED SQUARE LAY-IN CEILING PANELS. CONTRACTOR TO INCLUDE PROTECTION AND RE-INSTALLATION OF ALL EXISTING FIRE DETECTION, SIGNALING AND TECHNOLOGY DEVICES. REINSTALL EXISTING SALVAGED LIGHT FIXTURES. NOTE, FIXTURE MAY BE TIED-UP AGAINST CEILING TO REDUCE DAMAGE AND FACILITATE REINSTALLATION.

14. **UNDER ALTERNATE NO. 2 WHERE NOTED ON DRAWINGS:** REPLACE OR REPAIR BALANCE OF GYPSUM BOARD, WALLS REMOVING ANY EXISTING WALL COVERING, PATCH, FLOAT, TEXTURE WITH ORANGE PEEL FINISH, PRIME AND PAINT TWO COATS ENAMEL PAINT TO MATCH EXISTING THROUGHOUT BUILDING. WHERE ROOMS ARE SCHEDULED TO BE PAINTED ALL WALLS, REMOVE ANY EXISTING VINYL WALL COVERINGS BEFORE REPAIRING WALLS TO STANDARDS NOTED. WHERE WALLS ARE PAINTED, CONTRACTOR SHALL BE RESPONSIBLE TO PAINT EXISTING DOOR FRAMES WITH COLOR TO MATCH (WHERE PAINTED). WHERE EXISTING GYPSUM BOARD HAS BLOOMED DUE TO WATER INTRUSION, CUT-OUT FULL SECTION EDGE OF STUD TO EDGE OF STUD AND INSTALL NEW GYPSUM BOARD PRIOR TO STARTING TAPE AND FLOATING WORK. NOTE, IN ANY SCHEDULED ROOM, ALL EXISTING VINYL WALL COVERED OR PAINTED GYPSUM BOARD WALLS ARE COVERED BY THIS NOTE.

15. **UNDER ALTERNATE NO. 3 WHERE NOTED ON DRAWINGS ON FIRST FLOOR:** REMOVE EXISTING FLOORING AND RUBBER BASE AND INSTALL NEW PATCRAFT SHAW CONTACT INTENTION MODULAR 18 X 36 CARPET TILES (FINAL COLOR TO BE SELECTED BY OWNER AND ARCHITECT FROM MANUFACTURER'S STANDARD LINE). INSTALL NEW 4" RUBBER COVED BASE (VINYL NOT ACCEPTED) INCLUDING USE OF MANUFACTURER'S INSIDE AND OUTSIDE CORNER COMPONENTS IN ALL INSTALLATION LOCATIONS WITH ALL WORK INSTALLED IN COMPLIANCE WITH MANUFACTURER'S STANDARD INCLUDING CLEANING/PREPAREDNESS OF FLOOR, ADHESIVE AND FLOORING INSTALLATION. PROVIDE THE OWNER WITH 5% ATTIC STOCK MATERIALS FOR EACH COLOR UTILIZED ON THE PROJECT IN NON-OPENED BOXES. PROVIDE 5% LINEAR FEET ATTIC STOCK MATERIALS FOR 4" COVED RUBBER BASE.



1 FIRST FLOOR ANNEX PLAN

SCALE: 3/16" = 1'-0"

CALLED NORTH

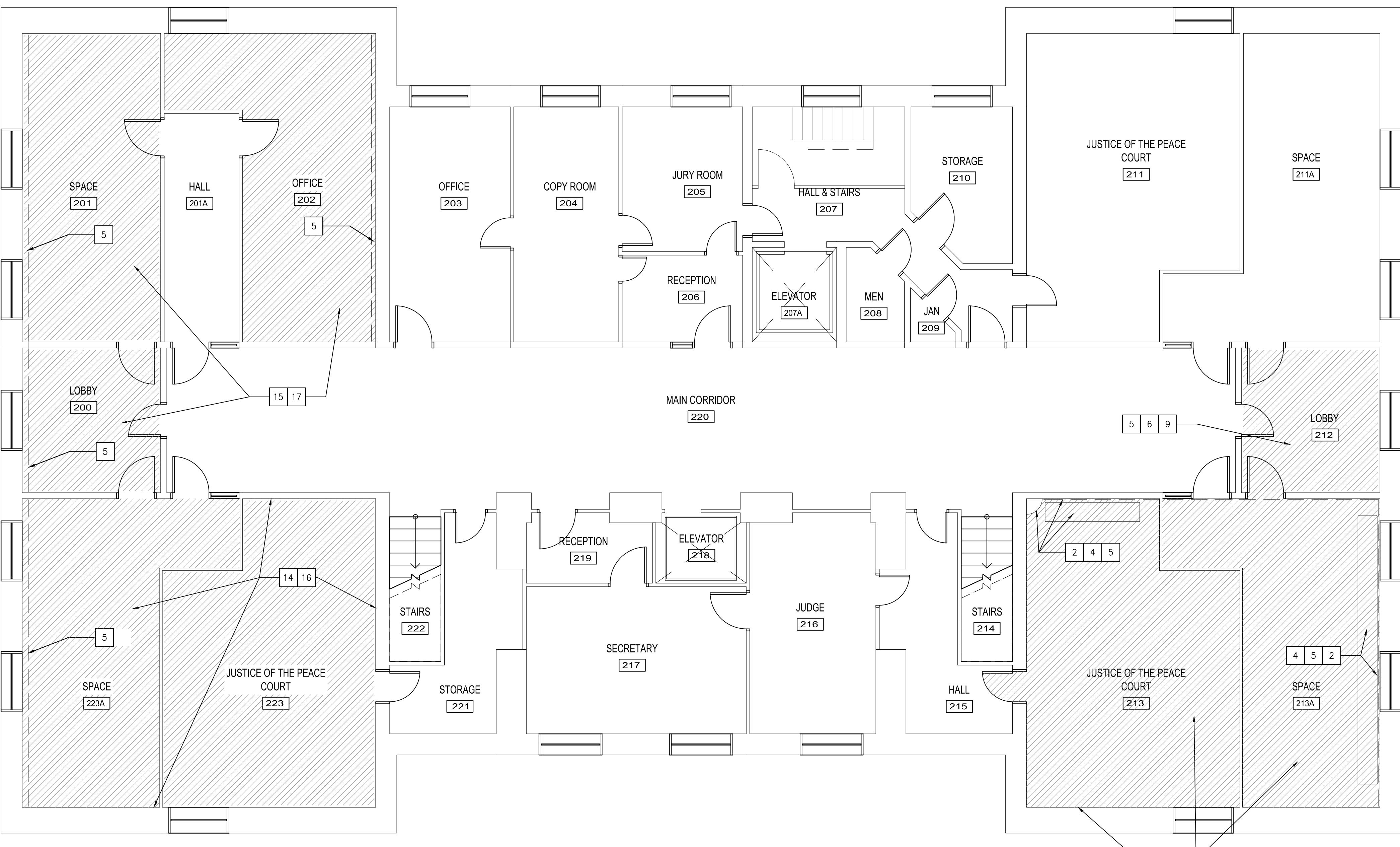
ISSUED FOR
 SCHEMATIC DESIGN
 DATE: 8/17/2020
 DESIGN DEVELOPMENT
 DATE: _____
 BIDS & CONSTRUCTION
 DATE: 9/23/2020
 REVISION:
 DATE: _____
 REVISION:
 DATE: _____
 REVISION:
 DATE: _____
 REVISION:
 DATE: _____

DRAWINGS SHEET TITLE
FIRST FLOOR ANNEX PLAN

SHEET NUMBER
A102
 20093
 PROJECT NUMBER

Jefferson County
 525 Lakeshore Drive
 Port Arthur, TX 77640

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CONSTRUCTION NOTES

1. REMOVE AND REPLACE EXISTING 2'X4' FLUORESCENT LIGHT FIXTURE WITH MATCHING LED UNIT.
2. REFINISH SMALL WATER STAINED AREAS OF TWO EXISTING WOOD BENCHES TO MATCH ADJACENT SURFACE BOTH COLOR AND FINISH AFTER PROVIDING A TEST AREA FOR APPROVAL BY OWNER AND ARCHITECT. REFERENCE PHOTOGRAPHS FOR GENERAL AREA OF REPAIRS.
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5. REPLACE OR REPAIR GYPSUM BOARD, WALLS DAMAGED BY WATER INTRUSION REMOVING ANY EXISTING WALL COVERING, PATCH, FLOAT, TEXTURE WITH ORANGE PEEL FINISH, PRIME AND PAINT TWO COATS ENAMEL PAINT TO MATCH EXISTING SURFACE BOTH COLOR AND FINISH THROUGHOUT BUILDING. WHERE ROOMS ARE SCHEDULED TO BE PAINTED ALL WALLS, REMOVE ANY EXISTING VINYL WALL COVERINGS BEFORE REPAIRING WALLS TO STANDARDS NOTED. WHERE WALLS ARE PAINTED, CONTRACTOR SHALL BE RESPONSIBLE TO PAINT EXISTING DOOR FRAMES WITH COLOR TO MATCH. WHERE PAINTED, EXISTING GYPSUM BOARD HAS BLOOMED DUE TO WATER INTRUSION, CUT-OUT FULL SECTION EDGE OF STUD TO EDGE OF STUD AND INSTALL NEW GYPSUM BOARD PRIOR TO STARTING TAPE AND FLOATING WORK. NOTE, IN ANY SCHEDULED ROOM, ALL EXISTING VINYL WALL COVERED OR PAINTED GYPSUM BOARD WALLS ARE COVERED BY THIS NOTE.
6. REMOVE AND REPLACE DAMAGED SUSPENDED CEILING GRID AND TILE (SALVAGING EXISTING LIGHT FIXTURES FOR RE-INSTALLATION) AND REPLACE WITH NEW SUSPENDED CEILING GRID SYSTEM AND NEW ACOUSTICAL TILE AS SPECIFIED. IN CERTAIN CASES, THE EXISTING GRID MAY BE SALVAGEABLE TO BE SANDED SMOOTH, PRIMED AND PAINTED WITH TWO COATS ENAMEL PAINT SUCH THAT NO DEFECTS CAN BE DETECTED. CONTRACTOR SHALL DETERMINE THESE CASES AND BE SOLELY RESPONSIBLE TO REPAIR CEILINGS TO THE SATISFACTION OF OWNER AND ARCHITECT PRIOR TO RE-INSTALLATION OF NEW CEILING TILES. IF REPAIRS ARE NOT ACCEPTABLE, EXISTING GRID MUST BE REMOVED AND REPLACED WITH SPECIFIED PRODUCT. ALL NEW SUSPENDED ACOUSTICAL TILE CEILING MUST BE INSTALLED WITH LASER LEVELING DEVICE FOR UNIFORM ELEVATION ABOVE FLOOR. FURNISH AND INSTALL NEW 4' X 24' X 75' MC 1713 SCHOOL ZONE FINE FISSIONED SQUARE LAY-IN CEILING PANELS. CONTRACTOR TO INCLUDE PROTECTION AND RE-INSTALLATION OF ALL EXISTING FIRE DETECTION, SIGNALING AND TECHNOLOGY DEVICES. REINSTALL EXISTING SALVAGED LIGHT FIXTURES. NOTE, FIXTURE MAY BE TIED-UP AGAINST CEILING TO REDUCE DAMAGE AND FACILITATE REINSTALLATION.
7. REPAIR APPROXIMATE 4 SQUARE FEET OF WOOD WALL VENEER, WINDOW SILL AND WINDOW TRIM DELAMINATED OR STAINED BY RE-ADHERING WITH GLUE AND PRESSURE AND REFINISH AS NECESSARY TO MATCH EXISTING ADJACENT SURFACE BOTH COLOR AND FINISH.
8. REPAIR APPROXIMATE 15 LINEAL FEET OF WOODEN WINDOW TRIM WHERE STAINED OR BUCKLED BY RE-ATTACHING AS NECESSARY AND REFINISH AS NECESSARY TO MATCH EXISTING ADJACENT SURFACE BOTH COLOR AND FINISH.
9. REMOVE EXISTING FLOORING AND RUBBER BASE AND INSTALL NEW PATCRAFT SHAW CONTACT INTENTION MODULAR 18 X 36 CARPET TILES (FINAL COLOR TO BE SELECTED BY OWNER AND ARCHITECT FROM MANUFACTURER'S STANDARD LINE). INSTALL NEW 4" RUBBER COVED BASE (VINYL NOT ACCEPTED) INCLUDING USE OF MANUFACTURER'S INSIDE/OUTSIDE CORNER COMPONENTS IN ALL WORK INSTALLED IN COMPLIANCE WITH MANUFACTURER'S STANDARD INCLUDING CLEANING/PREPAREDNESS OF FLOOR, ADHESIVE AND FLOORING INSTALLATION. PROVIDE THE OWNER WITH 5% ATTIC STOCK MATERIALS FOR EACH COLOR UTILIZED ON THE PROJECT IN NON-OPENED BOXES. PROVIDE 5% LINEAR FEET ATTIC STOCK MATERIALS FOR 4" COVED RUBBER BASE.
10. REMOVE EXISTING FLOORING AND RUBBER BASE AND INSTALL MOHAWK GROUP MATUTO PLUS STONE LUXURY VINYL TILES IN MANUFACTURER'S DECO PATTERN WITH THREE COLORS (858A BRONZE BLAST STONE, 959A GREY GRANITE STONE, AND 915A FROSTBITE STONE). INSTALL NEW 4" RUBBER COVED BASE (VINYL NOT ACCEPTED) INCLUDING USE OF MANUFACTURER'S INSIDE AND OUTSIDE CORNER COMPONENTS IN ALL INSTALLATION LOCATIONS INSTALLED IN COMPLIANCE WITH MANUFACTURER'S STANDARD INCLUDING CLEANING/PREPAREDNESS OF FLOOR, ADHESIVE AND FLOORING INSTALLATION. PROVIDE THE OWNER WITH 5% ATTIC STOCK MATERIALS FOR EACH COLOR UTILIZED ON THE PROJECT IN NON-OPENED BOXES. PROVIDE 15% LINEAR FEET ATTIC STOCK MATERIALS COVED RUBBER BASE.
11. AT EXISTING ACCESSIBLE RAMP, REMOVE EXISTING CARPET AND BASE MATERIALS, CLEAN AND INSTALL NEW MOHAWK TUFF STUFF II MODULAR TILE DIRECT GLUE DOWN CARPET ON RAMP WITH COMPLIANT ADHESIVE LAID FLOORING RUNNING 90 DEGREES TO THE SLOPE OF THE STAIR ALONG WITH NEW 4" COVED RUBBER BASE ON OUTSIDE WALL LINE WHERE APPLICABLE.
12. REMOVE ANY EXISTING RUBBER/VINYL BASE AND INSTALL NEW 4" COVED RUBBER BASE WITH MANUFACTURER'S INSIDE/OUTSIDE CORNER. NOTE, VINYL BASE WILL NOT BE ACCEPTED.
13. UNDER ALTERNATE NO. 1 WHERE NOTED ON DRAWINGS ON FIRST FLOOR: REMOVE AND REPLACE DAMAGED SUSPENDED CEILING GRID AND TILE (SALVAGING EXISTING LIGHT FIXTURES FOR RE-INSTALLATION) AND REPLACE WITH NEW SUSPENDED CEILING GRID SYSTEM AND NEW ACOUSTICAL TILE AS SPECIFIED. IN CERTAIN CASES, THE EXISTING GRID MAY BE SALVAGEABLE TO BE SANDED SMOOTH, PRIMED AND PAINTED WITH TWO COATS ENAMEL PAINT SUCH THAT NO DEFECTS CAN BE DETECTED. CONTRACTOR SHALL DETERMINE THESE CASES AND BE SOLELY RESPONSIBLE TO REPAIR CEILINGS TO THE SATISFACTION OF OWNER AND ARCHITECT PRIOR TO RE-INSTALLATION OF NEW CEILING TILES. IF REPAIRS ARE NOT ACCEPTABLE, EXISTING GRID MUST BE REMOVED AND REPLACED WITH SPECIFIED PRODUCT. ALL NEW SUSPENDED ACOUSTICAL TILE CEILING MUST BE INSTALLED WITH LASER LEVELING DEVICE FOR UNIFORM ELEVATION ABOVE FLOOR. FURNISH AND INSTALL NEW 4' X 24' X 75' MC 1713 SCHOOL ZONE FINE FISSIONED SQUARE LAY-IN CEILING PANELS. CONTRACTOR TO INCLUDE PROTECTION AND RE-INSTALLATION OF ALL EXISTING FIRE DETECTION, SIGNALING AND TECHNOLOGY DEVICES. REINSTALL EXISTING SALVAGED LIGHT FIXTURES. NOTE, FIXTURE MAY BE TIED-UP AGAINST CEILING TO REDUCE DAMAGE AND FACILITATE REINSTALLATION.
14. UNDER ALTERNATE NO. 2 WHERE NOTED ON DRAWINGS: REPLACE OR REPAIR BALANCE OF GYPSUM BOARD, WALLS REMOVING ANY EXISTING WALL COVERING, PATCH, FLOAT, TEXTURE WITH ORANGE PEEL FINISH, PRIME AND PAINT TWO COATS ENAMEL PAINT TO MATCH EXISTING THROUGHOUT BUILDING. WHERE ROOMS ARE SCHEDULED TO BE PAINTED ALL WALLS, REMOVE ANY EXISTING VINYL WALL COVERINGS BEFORE REPAIRING WALLS TO STANDARDS NOTED. WHERE WALLS ARE PAINTED, CONTRACTOR SHALL BE RESPONSIBLE TO PAINT EXISTING DOOR FRAMES WITH COLOR TO MATCH. WHERE PAINTED, EXISTING GYPSUM BOARD HAS BLOOMED DUE TO WATER INTRUSION, CUT-OUT FULL SECTION EDGE OF STUD TO EDGE OF STUD AND INSTALL NEW GYPSUM BOARD PRIOR TO STARTING TAPE AND FLOATING WORK. NOTE, IN ANY SCHEDULED ROOM, ALL EXISTING VINYL WALL COVERED OR PAINTED GYPSUM BOARD WALLS ARE COVERED BY THIS NOTE.
15. UNDER ALTERNATE NO. 3 WHERE NOTED ON DRAWINGS ON FIRST FLOOR: REMOVE EXISTING FLOORING AND RUBBER BASE AND INSTALL NEW PATCRAFT SHAW CONTACT INTENTION MODULAR 18 X 36 CARPET TILES (FINAL COLOR TO BE SELECTED BY OWNER AND ARCHITECT FROM MANUFACTURER'S STANDARD LINE). INSTALL NEW 4" RUBBER COVED BASE (VINYL NOT ACCEPTED) INCLUDING USE OF MANUFACTURER'S INSIDE AND OUTSIDE CORNER COMPONENTS IN ALL INSTALLATION LOCATIONS WITH ALL WORK INSTALLED IN COMPLIANCE WITH MANUFACTURER'S STANDARD INCLUDING CLEANING/PREPAREDNESS OF FLOOR, ADHESIVE AND FLOORING INSTALLATION. PROVIDE THE OWNER WITH 5% ATTIC STOCK MATERIALS FOR EACH COLOR UTILIZED ON THE PROJECT IN NON-OPENED BOXES. PROVIDE 5% LINEAR FEET ATTIC STOCK MATERIALS FOR 4" COVED RUBBER BASE.
16. UNDER ALTERNATE NO. 4 WHERE NOTED ON DRAWINGS: REMOVE AND REPLACE DAMAGED SUSPENDED CEILING GRID AND TILE (SALVAGING EXISTING LIGHT FIXTURES FOR RE-INSTALLATION) AND REPLACE WITH NEW SUSPENDED CEILING GRID SYSTEM AND NEW ACOUSTICAL TILE AS SPECIFIED. IN CERTAIN CASES, THE EXISTING GRID MAY BE SALVAGEABLE TO BE SANDED SMOOTH, PRIMED AND PAINTED WITH TWO COATS ENAMEL PAINT SUCH THAT NO DEFECTS CAN BE DETECTED. CONTRACTOR SHALL DETERMINE THESE CASES AND BE SOLELY RESPONSIBLE TO REPAIR CEILINGS TO THE SATISFACTION OF OWNER AND ARCHITECT PRIOR TO RE-INSTALLATION OF NEW CEILING TILES. IF REPAIRS ARE NOT ACCEPTABLE, EXISTING GRID MUST BE REMOVED AND REPLACED WITH SPECIFIED PRODUCT. ALL NEW SUSPENDED ACOUSTICAL TILE CEILING MUST BE INSTALLED WITH LASER LEVELING DEVICE FOR UNIFORM ELEVATION ABOVE FLOOR. FURNISH AND INSTALL NEW 4' X 24' X 75' MC 1713 SCHOOL ZONE FINE FISSIONED SQUARE LAY-IN CEILING PANELS. CONTRACTOR TO INCLUDE PROTECTION AND RE-INSTALLATION OF ALL EXISTING FIRE DETECTION, SIGNALING AND TECHNOLOGY DEVICES. REINSTALL EXISTING SALVAGED LIGHT FIXTURES. NOTE, FIXTURE MAY BE TIED-UP AGAINST CEILING TO REDUCE DAMAGE AND FACILITATE REINSTALLATION.

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| ISSUED FOR | SCHEMATIC DESIGN | <input checked="" type="checkbox"/> |
| DATE: | 8/17/2020 | |
| DESIGN DEVELOPMENT | | <input type="checkbox"/> |
| DATE: | | |
| BIDS & CONSTRUCTION | <input checked="" type="checkbox"/> | |
| DATE: | 9/23/2020 | |
| REVISION: | | |
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| DRAWINGS SHEET TITLE | SECOND FLOOR PLAN |
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| SHEET NUMBER | A103 |
| PROJECT NUMBER | 20093 |